



Board of Directors Meeting
 Friday, January 14, 2022 – 8:30 AM
 LEAP Office
 1000 S. Washington Ave. Ste. 201
 Lansing, MI 48910

Mask Requirement:
 Face coverings are required by all Board Members, staff,
 and members of the public at this meeting.

AGENDA

- 1) Call to Order/Roll Call
- 2) New Member Welcome
- 3) Approval of LED C Board Meeting Minutes – Friday, December 3, 2021
- 4) Update on Financials
- 5) 224 S. Washington Square Project Business Loan Request (ACTION)
- 6) ERRD Update and Contract Amendment (ACTION)
- 7) Stadium North – EGLE Grant Application (ACTION)
- 8) Approval of 2022 Board Meeting Schedule (ACTION)
- 9) Program Updates
 - a. Façade Improvement Program
 - b. Lansing Equitable Economic Development (LEED) Programming
 - c. LED C Site Committee
- 10) Project Updates
- 11) 2022 Board of Directors Officer Elections (ACTION)
- 12) Open Forum for LED C Board Members
- 13) Other Business
- 14) Public Comment
- 15) Adjournment

The Lansing Economic Development Corporation's mission is to create quality jobs, diversify the local economy and improve overall quality of life by attracting, expanding and retaining business and industry in the City of Lansing.



Board of Directors Meeting
 Friday, December 3, 2021 – 8:30 AM
 LEAP Office
 1000 S. Washington Ave. Ste. 201
 Lansing, MI 48910

Mask Requirement:

Face coverings are required by all Board Members, staff,
 and members of the public at this meeting.

MINUTES

Members Present:	Calvin Jones, Michael McKissic, Andrea Binoniemi, Shelley Davis-Boyd, Tom Donaldson, Blake Johnson
Members Absent:	Kim Coleman (excused), Brian McGrain (excused), Dr. Alane Laws-Barker (excused)
Staff Present:	Karl Dorshimer, Kris Klein, Kambriana Gates, Torrell Christian, Tony Willis
Guests:	Jake Brower (City of Lansing), Brian Lefler

Call to Order

Chair Jones called the Lansing Economic Development Corporation meeting to order at 9:39AM

Approval of LEDC Board Meeting Minutes – Friday, November 5, 2021

MOTION: Binoniemi moved to approve the LBRA meeting minutes from the Friday, November 5, 2021, LBRA Board of Director's meeting, as presented. Motion seconded by Davis-Boyd.

YEAS: Unanimous. Motion Carried.

Update on Financials

Klein gave a brief update on the financials with main points of highlights.

Equitable Economic Development Programming Resolution (ACTION)

Gates shared a recap of the presentation from the last LEDC meeting about Equitable Economic Development. Resolution was provided which Gates walked through the six program areas of the proposal. Gates explained that LEAP will present the proposal at the Community ARPA Discussion on behalf of the LEDC and will refine their presentation and proposal to formally share with the board if approved. Chair Jones motioned to have the resolution approved by the board which Johnson moved and Binoniemi seconded.

MOTION: Johnson motioned to approve the resolution and Binoniemi seconded.

YEAS: Unanimous. Motion Carried.

Program Updates

- a. Façade Improvement Program:
 - i. Gates shared that the Façade Improvement is opening in January and will shared the flyer with the board once available. Board members asked the amount reimbursed and when the application will open along with the deadline. Gates shared that the program is a reimbursement up to \$20,000 and that the application will open January 03, 2022 and will close March 01, 2022.
- b. Sunrise Grant Program – Ingham County
 - i. Klein shared an update on Ingham county and LEAP grants for businesses and community organizations.
- c. LEDC Site Committee
 - i. Covered in LBRA meeting

Project Updates

Dorshimer shared that due to downtown workers continuing to work remotely the effect on downtown retain businesses has been dramatic. He said that converting vacant office space to other uses such as residential is needed. He also said that potential state programs to assist with this repurposing are in the works and the LEDC will be pursuing them.

2022 Board Meeting Schedule and Election of Officers (DISCUSSION)

Chair Jones shared that member McKissic will contact the board members about the scheduling. The scheduling will be approved in January.

Open Forum for LEDC Board Members

Chair Jones shared the park in downtown Lansing put the memorial which Klein gave an update. There is the plaque and artwork, waiting on the pouring of the concrete.

Other Business

None

Public Comment

None

Adjournment

Chair Jones called the Lansing Economic Development Corporation Board of Directors meeting to adjourn at 9:56AM.

LANSING ECONOMIC DEVELOPMENT CORPORATION

Financial Statements

For the One Month and Five Months Ended November 30, 2021 and 2020

Lansing Economic Development Corporation

Statements of Financial Position

	Nov 30, 21	Nov 30, 20
ASSETS		
Current Assets		
Checking/Savings		
10000 · PNC - General Fund - 2612	62,462.00	51,259.14
10001 · PNC - COVID19 Rescue Fund -2583	75.20	16.20
10002 · PNC - Business Fund - 2575	72,075.00	74,997.00
10004 · PNC - Business Fund Sweep -2647	1,326,869.31	1,516,527.21
10005 · PNC - General Fund Sweep - 2639	377,787.96	363,645.71
10007 · PNC - Energy Eff Rev Sav - 0696	213,334.48	213,188.35
Total Checking/Savings	2,052,603.95	2,219,633.61
Other Current Assets		
11118 · Receivable from Foster Swift	0.00	4,052.37
11119 · Prepaid Insurance	12,527.18	10,444.51
11135 · Receivable BW&L-Current Portion	4,500.00	4,500.00
11137 · Sleepwalker-Current Portion	6,534.55	6,331.12
11139 · The 517 Coffee Co-Current Port	5,385.71	5,403.10
11141 · Sweet Encounter Bakery -Current	2,818.47	0.00
11205 · Petra Flowers - CDBG-CV Rec	13,000.00	0.00
11206 · Ahptic Productions-CDBG-CV Rec	47,000.00	0.00
11207 · Busy Betty-CDBG-CV Rec	11,427.26	0.00
11208 · Meika's Boutique-CDBG-CV Rec	5,807.94	0.00
11209 · Lynn Osborne PC-CDBG-CV Rec	9,400.00	0.00
11210 · MJ Journeys - CDBG-CV Rec	17,681.00	0.00
11211 · Bella Viita-CDBG-CV Rec	16,665.85	0.00
11212 · Polka Dots Boutique-CDBG-CV Rec	13,650.00	0.00
11213 · Quality Detailing - CDBG-CV Rec	10,000.00	0.00
11214 · Artifact Estate - CDBG-CV Rec	7,027.00	0.00
11215 · FLEXcity Fitness - CDBG-CV Rec	17,000.00	0.00
11216 · Bantou Beauty - CDBG-CV Rec	16,000.00	0.00
11217 · Sophisticated Stylez-CDBG-CV Re	7,420.00	0.00
11220 · Premier Oil Shop - CDBG-CV Rec	24,872.00	0.00
11225 · Peoples Yoga - CDBG-CV Rec	18,200.00	0.00
11230 · Sleepwalker Spirit-CDBG-CV Rec	15,000.00	0.00
11235 · The 517 Coffee Co - CDBG-CV Rec	14,520.00	0.00
11240 · The Power of Water -CDBG-CV Rec	15,500.00	0.00
11245 · Value Engineering - CDBG-CV Rec	50,000.00	0.00
11250 · Odd Nodd Inc. - CDBG-CV Rec	9,500.00	0.00
Total Other Current Assets	371,436.96	30,731.10
Total Current Assets	2,424,040.91	2,250,364.71
Other Assets		
12000 · Loans Receivable		
11130 · Receivable BW&L	4,500.00	9,000.00
11131 · Receivable BW&L-Current Portion	-4,500.00	-4,500.00
12080 · Sleepwalker Spirits & Ale-Loan	6,534.55	13,429.15
12085 · Sleepwalker - Current Portion	-6,534.55	-6,331.12
12094 · The 517 Coffee Co. - Loan Rec.	24,126.23	19,011.32
12095 · The 517 Coffee Co-Current Port	-5,385.71	-5,403.10
12096 · Sweet Encounter Bakery-Loan Rec	20,176.00	0.00
12097 · Sweet Encounter Bakery -Cur Por	-2,818.47	0.00
Total 12000 · Loans Receivable	36,098.05	25,206.25
Total Other Assets	36,098.05	25,206.25
TOTAL ASSETS	2,460,138.96	2,275,570.96
LIABILITIES & EQUITY		
Liabilities		
Current Liabilities		
Accounts Payable		
20000 · Accounts Payable	345.00	0.00
Total Accounts Payable	345.00	0.00
Other Current Liabilities		
20100 · Payable Art Projects Arts & Cul	0.00	375.00

No assurance is provided on these financial statements. The statements do not include a statement of cash flows. Substantially all disclosures required by accounting principles generally accepted in the United States are not included. Accounting principles generally accepted in the United States of America require recognition of revenue and expense in the period earned. Management has indicated revenues and expenses related to certain contracts have been recognized when received and paid, respectively.

Lansing Economic Development Corporation

Statements of Financial Position

	Nov 30, 21	Nov 30, 20
20300 · Payable LBRA-Current Portion	4,500.00	4,500.00
Total Other Current Liabilities	4,500.00	4,875.00
Total Current Liabilities	4,845.00	4,875.00
Long Term Liabilities		
20200 · Payable to LBRA	4,500.00	9,000.00
20400 · Payable to LBRA-Current Portion	-4,500.00	-4,500.00
Total Long Term Liabilities	0.00	4,500.00
Total Liabilities	4,845.00	9,375.00
Equity		
32000 · Without donor restrictions	2,329,363.17	2,406,322.02
32100 · With donor restrictions	158,566.00	158,566.00
Net Income	-32,635.21	-298,692.06
Total Equity	2,455,293.96	2,266,195.96
TOTAL LIABILITIES & EQUITY	2,460,138.96	2,275,570.96

DRAFT

Lansing Economic Development Corporation

Statements of Activities

	Nov 21	Nov 20
Ordinary Income/Expense		
Income		
41000 · Loan Interest		
41080 · Sleepwalker Spirits Interest	19.52	0.00
41091 · The 517 Coffee Company Interest	93.88	74.33
41093 · Sweet Encounter Bakery Cafe Int	50.00	0.00
Total 41000 · Loan Interest	163.40	74.33
42000 · Investments		
42010 · Interest-Savings, Short-term CD	102.68	177.15
Total 42000 · Investments	102.68	177.15
Total Income	266.08	251.48
Expense		
63000 · Development		
63030 · Contractual Services	0.00	20,427.21
63050 · Insurance & Bonds	1,217.17	3,246.84
63055 · Marketing & Promotions	345.00	0.00
63060 · Miscellaneous Operating	0.00	106.00
63080 · Bank Fees	9.75	3.00
Total 63000 · Development	1,571.92	23,783.05
64000 · EDC Business Incubator		
64005 · Bank Fees	3.00	3.00
Total 64000 · EDC Business Incubator	3.00	3.00
Total Expense	1,574.92	23,786.05
Net Ordinary Income	-1,308.84	-23,534.57
Net Income	-1,308.84	-23,534.57

DRAFT

Lansing Economic Development Corporation

Statements of Activities

	Jul - Nov 21	Jul - Nov 20
Ordinary Income/Expense		
Income		
40000 • Contract Income		
40020 • City of Lansing Contract	300,000.00	0.00
40090 • EGLE Allen Place Grant Contract	198,538.91	9,459.73
40091 • EGLE Allen Place Grant Admin.	300.46	0.00
Total 40000 • Contract Income	498,839.37	9,459.73
41000 • Loan Interest		
41080 • Sleepwalker Spirits Interest	110.90	159.89
41091 • The 517 Coffee Company Interest	467.60	383.07
41093 • Sweet Encounter Bakery Cafe Int	100.00	0.00
Total 41000 • Loan Interest	678.50	542.96
42000 • Investments		
42010 • Interest-Savings, Short-term CD	501.94	1,242.23
Total 42000 • Investments	501.94	1,242.23
43000 • Other Types of Income		
43037 • Application Fees	250.00	0.00
Total 43000 • Other Types of Income	250.00	0.00
Total Income	500,269.81	11,244.92
Expense		
61000 • Contract Services		
61020 • Legal Fees	888.00	0.00
Total 61000 • Contract Services	888.00	0.00
63000 • Development		
63025 • Facade Grants	48,488.48	11,443.00
63030 • Contractual Services	335,000.00	280,427.21
63035 • EGLE Allen Place Grant Contract	136,247.71	9,459.73
63050 • Insurance & Bonds	5,388.60	8,334.44
63055 • Marketing & Promotions	345.00	0.00
63060 • Miscellaneous Operating	627.58	206.00
63072 • CDBG-CV Program Expenses	5,850.00	0.00
63080 • Bank Fees	54.65	51.60
Total 63000 • Development	532,002.02	309,921.98
64000 • EDC Business Incubator		
64005 • Bank Fees	15.00	15.00
Total 64000 • EDC Business Incubator	15.00	15.00
Total Expense	532,905.02	309,936.98
Net Ordinary Income	-32,635.21	-298,692.06
Net Income	-32,635.21	-298,692.06

No assurance is provided on these financial statements. The statements do not include a statement of cash flows. Substantially all disclosures required by accounting principles generally accepted in the United States are not included. Accounting principles generally accepted in the United States of America require recognition of revenue and expense in the period earned. Management has indicated revenues and expenses related to certain contracts have been recognized when received and paid, respectively.

SUPPLEMENTARY INFORMATION

DRAFT

Lansing Economic Development Corporation

Statement of Activities - Actual vs. Budget

	Jul - Nov 21	Budget	\$ Over Budget	% of Budget
Ordinary Income/Expense				
Income				
40000 · Contract Income				
40020 · City of Lansing Contract	300,000.00	0.00	300,000.00	100.0%
40090 · EGLE Allen Place Grant Contract	198,538.91	9,459.73	189,079.18	2,098.8%
40091 · EGLE Allen Place Grant Admin.	300.46			
Total 40000 · Contract Income	498,839.37	9,459.73	489,379.64	5,273.3%
41000 · Loan Interest				
41080 · Sleepwalker Spirits Interest	110.90	159.89	-48.99	69.4%
41091 · The 517 Coffee Company Interest	467.60	383.07	84.53	122.1%
41093 · Sweet Encounter Bakery Cafe Int	100.00			
Total 41000 · Loan Interest	678.50	542.96	135.54	125.0%
42000 · Investments				
42010 · Interest-Savings, Short-term CD	501.94	1,242.23	-740.29	40.4%
Total 42000 · Investments	501.94	1,242.23	-740.29	40.4%
43000 · Other Types of Income				
43037 · Application Fees	250.00	0.00	250.00	100.0%
Total 43000 · Other Types of Income	250.00	0.00	250.00	100.0%
Total Income	500,269.81	11,244.92	489,024.89	4,448.9%
Expense				
61000 · Contract Services				
61020 · Legal Fees	888.00	0.00	888.00	100.0%
Total 61000 · Contract Services	888.00	0.00	888.00	100.0%
63000 · Development				
63025 · Facade Grants	48,488.48	11,443.00	37,045.48	423.7%
63030 · Contractual Services	335,000.00	280,427.21	54,572.79	119.5%
63035 · EGLE Allen Place Grant Contract	136,247.71	1,803.75	134,443.96	7,553.6%
63050 · Insurance & Bonds	5,388.60	8,334.44	-2,945.84	64.7%
63055 · Marketing & Promotions	345.00	0.00	345.00	100.0%
63060 · Miscellaneous Operating	627.58	206.00	421.58	304.7%
63072 · CDBG-CV Program Expenses	5,850.00			
63080 · Bank Fees	54.65	67.80	-13.15	80.6%
Total 63000 · Development	532,002.02	302,282.20	229,719.82	176.0%
64000 · EDC Business Incubator				
64005 · Bank Fees	15.00	15.00	0.00	100.0%
Total 64000 · EDC Business Incubator	15.00	15.00	0.00	100.0%
Total Expense	532,905.02	302,297.20	230,607.82	176.3%
Net Ordinary Income	-32,635.21	-291,052.28	258,417.07	11.2%
Net Income	-32,635.21	-291,052.28	258,417.07	11.2%

No assurance is provided on these financial statements. The statements do not include a statement of cash flows. Substantially all disclosures required by accounting principles generally accepted in the United States are not included. Accounting principles generally accepted in the United States of America require recognition of revenue and expense in the period earned. Management has indicated revenues and expenses related to certain contracts have been recognized when received and paid, respectively.

DRAFT



Lansing Economic Development Corporation
Lansing Brownfield Redevelopment Authority
Tax Increment Finance Authority
1000 S. Washington Avenue, Suite 201, Lansing, MI 48910
Phone: 517-702-3387
www.purelansing.com

MEMORANDUM

DATE: Friday, January 07, 2022

TO: LEDC Board of Directors

FROM: Kris Klein & Mitchell Timmerman, Director of Economic Development & Economic Development Specialist, LEAP

Subject: Request for LEDC Micro-Loan for RBM Properties, LLC

On Wednesday, January 5th, 2022 the Lansing Economic Development Corporation (LEDC) Loan Committee met to review and discuss an application for a \$136,500 Micro-Loan to RBM Properties, LLC through the LEDC's Business Finance Assistance Program. Committee members in attendance included Calvin Jones, Julian Darden, and Karl Dorshimer. The \$136,500 request is for equipment and various materials and supplies necessary to open and operate a live performance venue at the property located at 224 S. Washington Square Lansing, MI.

RBM Properties, LLC is comprised of members Kevin Meyer, Irving Ronk, and Joseph S. Bell who together have over 40 years of experience in the live music industry. All three of the members of the LLC bring their own experience in the entertainment industry, talent management and concert promotion. All three members have been active in the Lansing area and with events throughout Michigan, notable events include Common Ground which is Lansing's annual music festival. Their expertise in organizing, developing, and executing live events and finding top talent for these events is critical to the success of this business.

The proposed project will bring a much-needed year-round arts and cultural anchor to the downtown area. The location and the operations of this business will help drive downtown engagement and generate robust business activity in the downtown area. The addition of this venue will help to incubate local artists, give local Lansing artists a home base to hone their craft, and elevate Lansing, MI as a destination for live entertainment throughout the state and country.

After discussing the project, loan application, significant industry experience of the applicant team, business' future plans and the need for a project like this in the downtown area the Loan Committee recommends approval of the loan application by the LEDC Board of Directors at their Friday, January 14th, 2022 meeting.

The recommended loan terms are as follows:

Amount: \$136,500

Term: 60 months (60-month amortization/maturity)

Interest Rate: 5% fixed

Debt Service: Monthly, during repayment period (est. \$2,575.64/month)

Security: Personal Guaranty from owners Kevin Meyer, Joseph S. Bell, and Irving Ronk.

Attached are the loan application and project documents for your review and consideration of an LEDC micro-loan to RBM Properties, LLC

Attached:

- Project Description w/ Budget
- Property Map and Site Photos
- Project Site Plan
- Draft Term Sheet

Project Description
224 South Washington Square,
Lansing, Michigan 48933

APPLICANT

RBM Properties LLC, 503 Mall Court, #329, Lansing, MI 48912.
Kevin Meyer, Managing Member, kevin@mientertainmentgroup.com, 517-980-6557

PROJECT

Renovation of building located at 224 S Washington Square, Lansing, MI 48933, into a live event and performance venue.

OWNER

RBM Properties LLC, a Michigan for profit limited liability company. Mailing address: 503 Mall Court, Lansing, MI 48912.

PROJECT DESCRIPTION

A renovated **224 S Washington Square**, located in the downtown business corridor of the capital city of Michigan will become one of the most popular and storied live performance venues in the Midwest. It will be considered a top destination for touring artists, while earning the accolades of beloved local musicians, located in the heart of the city for fans to enjoy. Performances will include all genres of music including pop, rock, classic rock, R&B, hip hop, country, bluegrass, folk, latin, jazz, comedy and more.

The renovated building's open design will allow for unobstructed sightlines throughout the hall to the stage and video displays, and provide comfortable access to bathrooms and service. The open ceiling design to the roof, will provide for optimal heights for production elements (audio and lighting). The completed project will include cutting edge production elements for live performances, as well as the streaming and recording of performances.

The open design will also allow for customizable space for seating configurations, e.g. a portion GA & a portion table seating; a portion general admission & a portion theater seating; and a portion theater seating & a portion table seating. Upon completion of renovation, the estimated capacity will be 600-700 attendees in a general admission (GA) setting and approximately 250 for table seating.

In addition to public paid admission performances, 224 will also be available for private functions, including weddings, meetings, and corporate events. The customizable space will offer flexible configurations for a luncheon, team outing, networking mixer, holiday party, etc.

A business office will be maintained at 224 South Washington Ave. Lansing MI 48933.

Planned hours of operation will be limited and based upon the programming of events. Management will not be opening the venue to the general public unless an event is taking place. (i.e. not operating a nightclub).

The venue will be accessible for guests with disabilities.

Prompt, courteous, enjoyable service will be provided along with quality live performances in an enjoyable atmosphere.

There is no venue within the Lansing-East Lansing MSA of this size or character, which provides a comparable experience, including in house production elements, to a broad array of audiences.

ECONOMIC & CULTURAL IMPACT

Each year, this venue will host one hundred events or more. It will be staffed by local full and part time employees¹, and attended by thousands of concert and event goers across all walks of life. As an entertainment hub, it will be an important economic multiplier for our local economies and tax bases as an employer and tourism destination, and revenue generator for neighboring businesses such as restaurants, hotels, and retail. One Chicago impact report estimated that for every \$1 spent on a ticket to a live event, a total of \$12 in economic activity was generated². Conservatively applying this factor to the annual dollar amount of admissions projected for this project, we estimate an annual economic impact greater than \$10 million dollars per year to the local economy.

The cultural impact of independent venues on our local communities is priceless. We are the steadfast incubators and launch pads for the most popular talent in the world. Our stages give artists like Adele, U2, Keith Urban, Prince, Lizzo, the Eagles, Wu-Tang Clan and Foo Fighters their start. The world could be without the next Lady Gaga, Kenny Chesney, Chance the Rapper or Bruce Springsteen if we cease to exist. Independent venues and promoters are crucial components of the music industry's ecosystem, without whom there will be dire ramifications for artists as fan spending plummets.

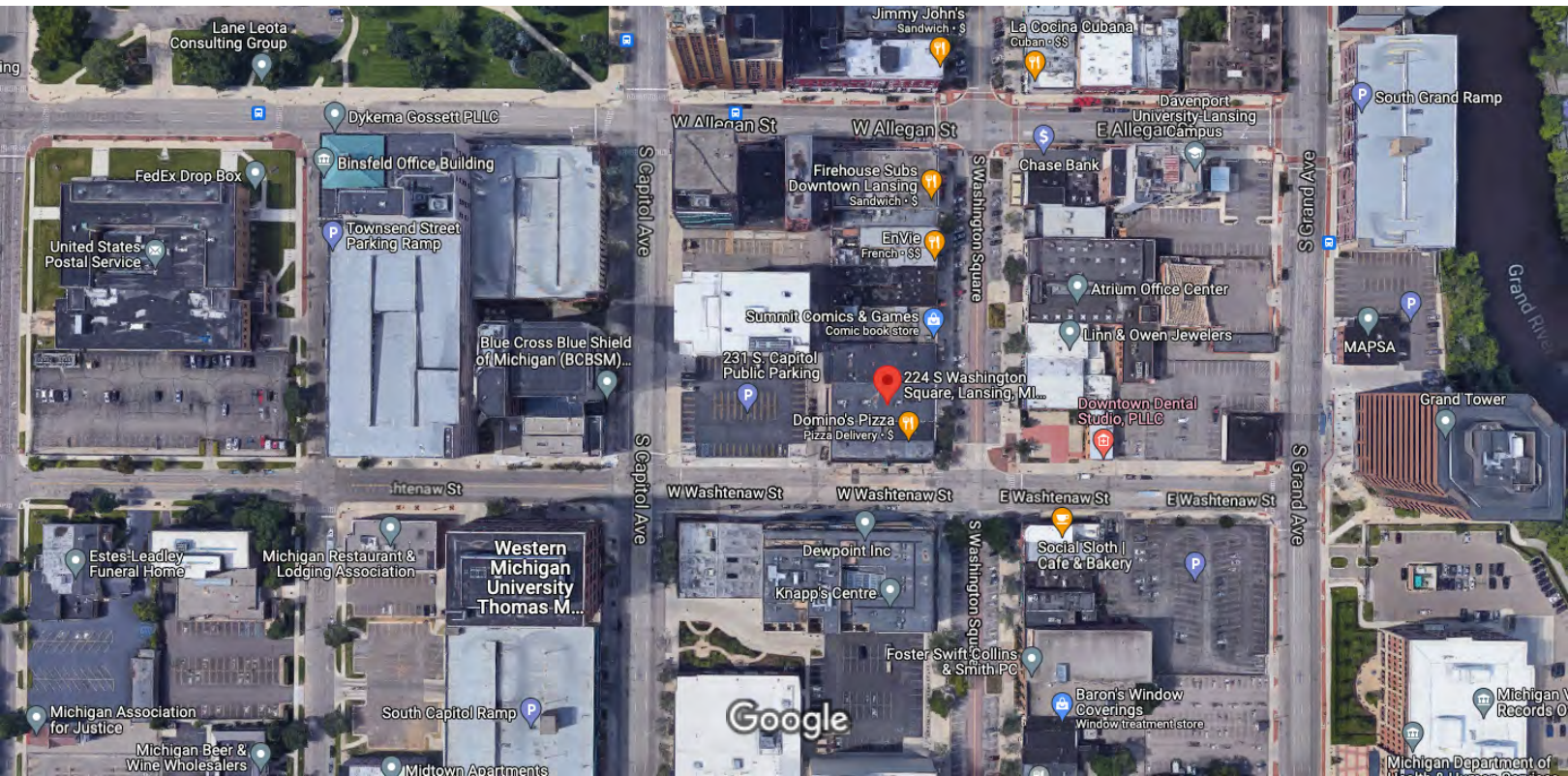
We intend to recapture the fan (and his/her economic impact) who has been traveling to Grand Rapids, Kalamazoo, Flint, Detroit and/or other communities to enjoy live entertainment by providing a world class venue in their community, and provide a venue for the next generations of fans and their memories.

¹ bartender(4-6), bar back(2-3), server(2-10), security(10-15), box office(2-3), and event production technical and support staff (2-6), manager, assistant manager, marketing.

² Economic Impact factor provided by NIVA (National Independent Venue Association, nivassoc.org) is comprised of more than 800 of the most influential independent music venues and promoters across 48 states and Washington, D.C.,

ESTIMATED SOURCES AND USES OF FUNDS

ESTIMATED SOURCES AND USES OF FUNDS				
ITEM CATEGORY	FUNDS PROVIDED BY APPLICANT	FUNDS LOANED BY LEDC	FUNDS LOANED BY OTHER LENDERS	TOTALS
Land & Building purchase, closing costs	\$0	\$0	\$307,500	\$307,500
Construction, Renovation	\$0	\$0	\$355,500	\$355,500
Equipment	\$0	\$128,000	\$0	\$128,000
Materials & Supplies	\$13,000	\$8,500	\$0	\$21,500
Working Capital, Cash Reserve, Contingency	\$50,000	\$0	\$0	\$50,000
Marketing, Branding	\$17,500	\$0	\$0	\$17,500
Operations, Fees	\$47,500	\$0	\$0	\$47,500
	\$128,000	\$136,500	\$663,000	\$927,500



Imagery ©2021 Google, Imagery ©2021 Maxar Technologies, U.S. Geological Survey, Map data ©2021 100 ft



224 S Washington Square

Building

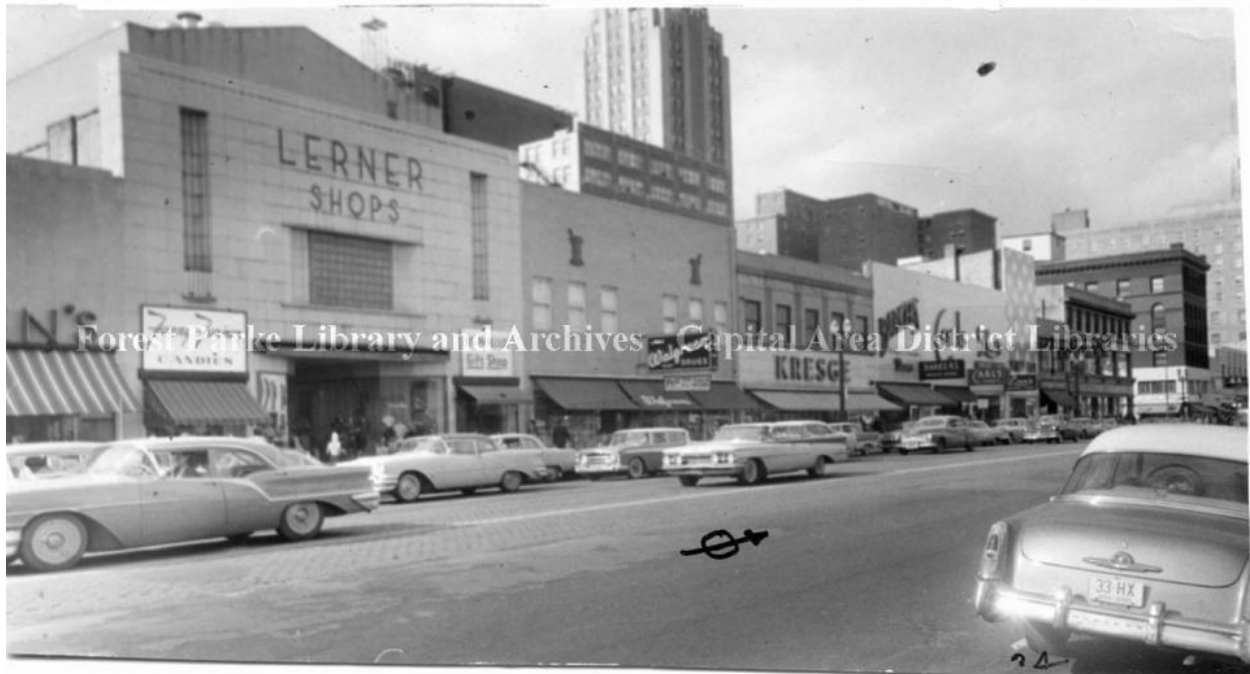
-  Directions
-  Save
-  Nearby
-  Send to your phone
-  Share

 224 S Washington Square, Lansing, MI 48933

Photos



224 S Washington Square, Lansing, MI

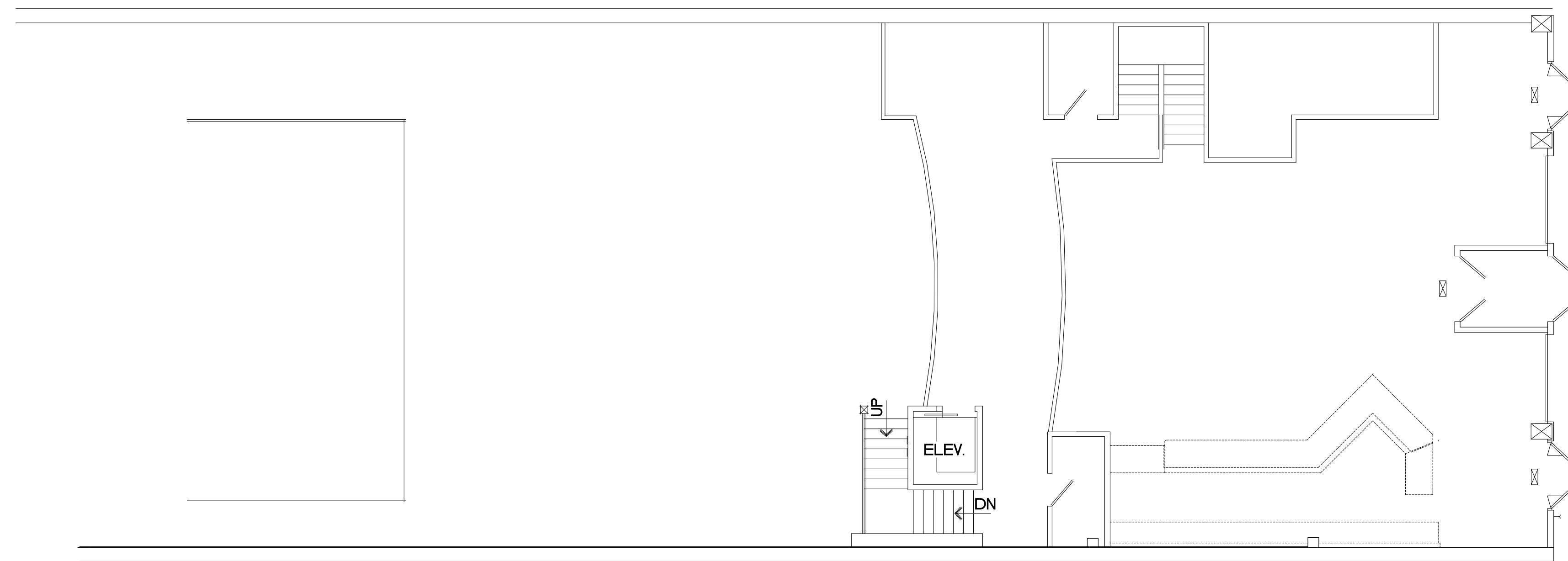


PROPERTY IN 1930'S



224 S Washington Square, Lansing, MI

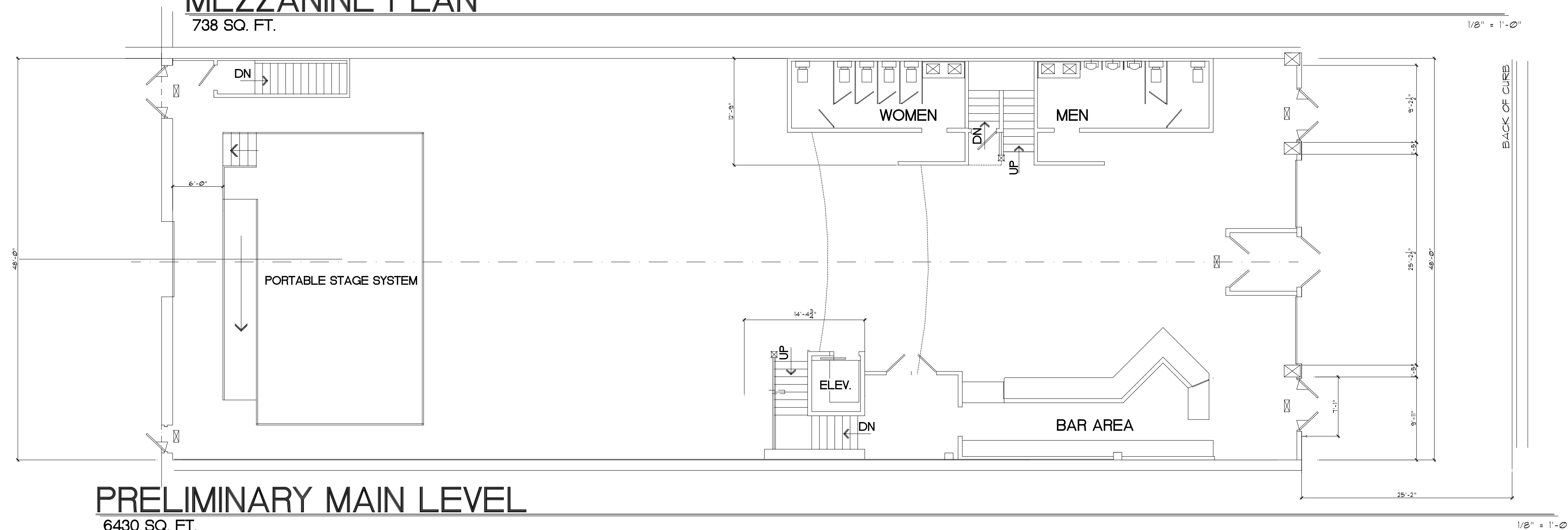




MEZZANINE PLAN

738 SQ. FT.

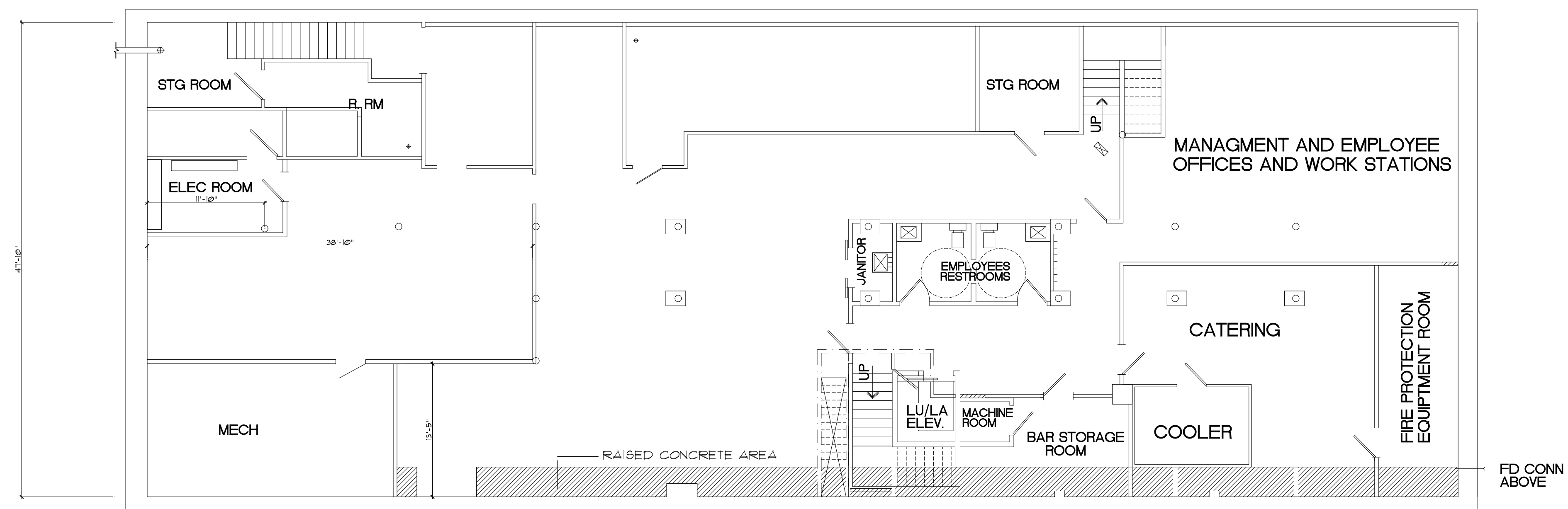
1/8" = 1'-0"



PRELIMINARY MAIN LEVEL

6430 SQ. FT.

1/8" = 1'-0"



PRELIMINARY LOWER LEVEL

6336 SQ. FT.

1/8" = 1'-0"

RBM PROPERTIES / 224 S. WASHINGTON SQUARE

LEDC Micro Loan Term Sheet

Project: Live Event and Performance Venue at 224 S. Washington Square
Location: Entity Address: 503 Mall Court, #329, Lansing, MI 48912
Project Property: 224 South Washington Sq. Lansing, MI 48933
Applicant: Kevin Meyer, Managing Member, RBM Properties LLC
Program: Lansing Economic Development Corporation Business Loan Program

Background Information: Kevin Meyer, Irving Ronk, and Joseph S. Bell are the three principal members that make up RBM Properties, LLC. Together they have over 40 years of experience in the entertainment industry. RBM Properties, LLC plans on opening a live music venue at 224 S. Washington Sq. Lansing, MI. This music venue will help fill the gap that was created with the closing of The Loft and Mac's Bar and will create a home base for local artists as well as become a destination for artists traveling throughout the state.

Project Description: RBM Properties, LLC plans on renovating the building at 224 S. Washington Sq into a live music venue that will have a capacity of 600-700 people for general admission and 250 people for table seating (final capacity to be determined). The owners plan to have an eclectic range of music to be played at the venue ranging from jazz to bluegrass, and everything in between. The space will also be available to be rented out for private functions and will operate year-round.

Level of Investment: The business is requesting a total of \$136,500 for equipment, materials and supplies necessary to open and operate the venue; this is the LEDC Micro-Loan amount requested by the applicant. MSUFCU is providing a total of \$663,000 for building purchase and construction costs. The applicant is providing \$128,000 for working capital, marketing and operations. In total the cost of the project is \$927,500.

Terms of the Loan:

Term:	5 years (60 months)
Loan Amount:	\$136,500
Interest Rate:	5.00% fixed
Payments:	Monthly
	• 60 Principle & Interest payments: \$2,575.64 (est.) • Final Balloon Payment of P&I Balance
Fees (due at closing):	\$1,000.00 Loan Application Fee - Paid to Lender \$1,365 Loan Closing Fee (1% of Loan Amount) - Paid to Lender Attorney/Document Fees (TBD)
Security:	Personal guaranty from Kevin Meyer, Joseph S. Bell, and Irving Ronk
Collateral:	None
Additional Terms:	None

City of Lansing

Economic Recovery and Resource Development

January 14, 2022





**PUBLIC SECTOR
CONSULTANTS**

Prepared by

Public Sector Consultants
www.publicsectorconsultants.com

Prepared for

Lansing Economic Development Corporation

Table of Contents

TABLE OF CONTENTS	3
PROJECT OVERVIEW	4
FUNDING RESEARCH AND DEVELOPING GRANT PROPOSALS	5
MATCHMAKING AND PARTNER SUPPORT	7
FUTURE STRATEGY	8

Project Overview

The City of Lansing, with support of the Lansing Economic Development Corporation, contracted with Public Sector Consultants (PSC) in December 2020 to add capacity to increase economic recovery and resource development efforts in response to the COVID-19 pandemic. PSC's scope is designed to attain the following goals:

- Increase dollars fundraised
- Establish a strong focus on equity
- Increase capacity of local organizations
- Improve the city's economic recovery
- Improve partnerships and coordination

To carry out these activities, PSC proposed a scope that comprised conducting funding research, developing grant proposals, and matchmaking and supporting partners. PSC met with City leadership to identify specific areas of focus to help narrow grant search efforts. Based on those conversations, PSC identified seven key policy and priority areas:

- Housing
- Small business/entrepreneurship
- Lansing Promise Initiative
- Corridor/façade improvements
- Riverfront development
- Environment and aesthetics
- Downtown redevelopment

Funding Research and Developing Grant Proposals

PSC has continually monitored funding opportunities made available through the multiple sources, including:

- Michigan Economic Development Corporation (MEDC)
- U.S. Department of Transportation
- U.S. Department of Labor
- U.S. Economic Development Administration (EDA)
- Michigan State Housing Development Authority
- Michigan Department of Treasury
- U.S. Congressional Representatives and Senators
- State and national private foundations
- Regional partnership initiatives

Funding opportunities identified in the past year can be found in Exhibit 1. Those bolded have been or will be submitted.

EXHIBIT 1. 2021 Funding Opportunities and Status

Funding Opportunity	Funding Agency	Potential Grantee	Status
Build to Scale Grant	U.S. EDA	City of Lansing Lansing Economic Area Partnership (LEAP)	After discussions with the City, LEAP, and outreach to Michigan State University, the decision was made not to submit based on MSU's planned application.
Blight Elimination Program	Michigan Department of Treasury and State Land Bank Authority	Ingham County Land Bank (ICLB)	PSC and the City met with ICLB and provided capacity in support of an application as needed.
Distressed Cities, Villages, and Townships Grant	Michigan Department of Treasury	City of Lansing	The City finance office is managing application and will engage with PSC if necessary.
Michigan Community Resilience Program	Michigan Community Service Commission	Community service agencies	PSC shared with the City for distribution to potential applicants.
Equitable Communities/Working Families Grant	W.K. Kellogg Foundation	City of Lansing	PSC is identifying potential program areas/partners.
Community Project Funding	U.S. Congressional budget earmark	City of Lansing	Applications were submitted to Rep. Elissa Slotkin, Sen. Gary Peters, and Sen. Debbie Stabenow, for development of the Michigan Avenue corridor, focusing on the area between Pennsylvania Ave. and I-496.

Funding Opportunity	Funding Agency	Potential Grantee	Status
RAISE Grant	U.S. Department of Transportation	City of Lansing	Application coordination for Washington Sq./I-496 surface transportation. Application was submitted for project totaling \$275,000.
Community Development Fellowship/AmeriCorps VISTA	Community Economic Development Association of Michigan	City of Lansing	Application submitted and awarded in partnership with LEAP to support economic development along the South MLK Jr. Blvd. corridor.
Choice Neighborhoods Grant	U.S. Department of Housing and Urban Development	City of Lansing	Determination was that application requirements were too burdensome within the time frame available.
Build Back Better Grant	U.S. EDA	City of Lansing	City explored multiple application opportunities, including as a main applicant or as an applicant within a regional partnership. Determined that City of Lansing application would not be competitive.
Good Jobs Challenge Grant	U.S. EDA	City of Lansing	Application to advance the career pathways available in the healthcare and med-tech fields will be submitted in February 2022. Proposal will be \$5M–\$8M.
Economic Adjustment Assistance Grant	U.S. EDA	Capital Region International Airport	Application submitted for \$8M to fund utilities and infrastructure for industrial park at Port Lansing. PSC coordinated EDA/airport discussions and assisted in grant review.
Revitalization and Placemaking Grant	MEDC	City of Lansing	PSC is currently discussing application options with stakeholders to determine the appropriate strategy. Application will be released in early January 2022.

PSC has also been monitoring federal and state budgeting processes and communications to ensure that the City of Lansing and its partners are well positioned to apply for American Rescue Plan Act (ARPA) funds when they are available. A combination of formula and competitive grant funds are expected to be administered within the next three to four months. However, election year politics has substantially impacted the budgeting process. Over \$6 billion in ARPA funds are unappropriated in Michigan. PSC continues to identify potential project details to ensure timely application submissions as soon as funds are appropriated. The list of future funding opportunities PSC is monitoring is in Exhibit 2.

EXHIBIT 2. Future Funding Opportunities

Funding Opportunity	Funding Agency	Amount
Building Resilient Infrastructure and Communities	U.S. Department of Homeland Security	\$1B
Clean Water and Drinking Water State Revolving Loan Funds	U.S. Environmental Protection Agency	\$57.7B
Low or No Emission Vehicle Program	U.S. Department of Transportation	\$5.2B
Lead Service Line Replacement	U.S. Environmental Protection Agency	\$15B
Bridge Investment Program	U.S. Department of Transportation	\$12.5B
Broadband Equity, Access, and Deployment Program	U.S. Department of Commerce	\$42.5B
Clean School Bus Program	U.S. Department of Energy	\$5B
Electric Vehicle Charging and Refueling Grant	U.S. Department of Transportation	\$2.5B
Preventing Outages and Enhancing the Resilience of the Electric Grid	U.S. Environmental Protection Agency	\$5B
PROTECT Grant Program (Promoting Resilient Operations for Transformative, Efficient & Cost-saving Transportation)	U.S. Department of Transportation	\$1.3B
Reconnecting Communities Initiative	U.S. Department of Transportation	\$1B
State of Good Repair grants	U.S. Department of Transportation	\$1.5B
Strengthening Mobility & Revolutionizing Technology (SMART) grants	U.S. Department of Transportation	\$500M
Biden-Harris Lead Pipe and Paint Action Plan	Multiple agencies	N/A
Recruiting and Retaining Critical Responders	State of Michigan	\$5M
Lead Line, Dam, and Sewer Replacement	State of Michigan	\$2.5B
MI Safe Communities grant	State of Michigan	\$1M

Matchmaking and Partner Support

PSC has also worked with stakeholders throughout the city to match them with applicable grant applications and provide grant support as needed. This process maximizes PSC's time on larger, more comprehensive applications. As part of this process, PSC supported the relaunch of the City of Lansing's Community Response Cabinet, which includes leaders from key community business, nonprofit, and social support organizations. The cabinet meets monthly to identify project and policy priorities. Participants include:

- Capital Area Michigan Works!
- Lansing School District
- Capital Region Community Foundation
- Lansing Regional Chamber of Commerce
- Sparrow Health System
- McLaren Greater Lansing Hospital
- Ingham County Health Department

- Lansing Board of Water & Light
- Lansing Economic Area Partnership
- Lansing Community College
- Neogen
- Lansing Financial Empowerment Center
- Allen Neighborhood Center
- Capital Area Housing Partnership
- Capital Area United Way
- Greater Lansing Food Bank

Additionally, PSC surveyed community stakeholders to identify their policy and funding priorities. Responses were collected from 35 stakeholders, 30 of which were nonprofit organizations. Approximately 50 percent of respondents noted that they are currently participating in collaborative programming efforts. Respondents expressed interest in the following policy/funding areas:

- Career and college readiness
- Small business and entrepreneurial support
- Affordable housing
- Diversity, equity, and inclusion
- Food and nutrition
- ADA accessibility
- Mental health
- Social services
- Senior care

PSC used, and will continue to use, this information to identify potential grant and collaborative partners.

Future Strategy

In the next three to four months, PSC's efforts will focus on maximizing the amount of ARPA funding the City of Lansing receives, including a concentration on grant programs found in the most recent federal infrastructure bill. Additionally, PSC will identify funding opportunities to address the following policy/funding areas:

- Gun and gang violence reduction
- Neighborhood support
- Small business attraction
- Alternative fuel and energy programs



**PUBLIC SECTOR
CONSULTANTS**

230 N. Washington Square
Suite 300
Lansing, MI 48933

First Amendment to the COVID-19 Economic Recovery Resource Developer Contract
Between City of Lansing and Lansing Economic Development Corporation

This First Amendment ("First Amendment"), which modifies the term, funding schedule, and reporting schedule contained in the COVID-19 Economic Recovery Resource Developer Contract dated September 4, 2020 ("Agreement") is made and entered into this ____ day of _____, 2022 between the City of Lansing, a Michigan Municipal Corporation (the "City"), and the Lansing Economic Development Corporation, a non-profit corporation organized and existing under the laws of the State of Michigan (the "LEDC").

WHEREAS, the Agreement envisioned the initial term of the Economic Recovery Resource Developer position (ERRD), to be hired and supervised by the City, would run at least through December 31, 2021; and

WHEREAS, the Agreement currently stipulates that the LEDC will provide up to \$100,000 of funding to support the ERRD position (LEDC Funding) to be advanced in four (4) quarterly payments of \$22,500 commencing on the ERRD's start date through the 270th day of employment with a further \$10,000 possible as performance payment after the City has employed the ERRD for one year; and

WHEREAS, the Agreement further stipulates that the LEDC will not advance LEDC Funding after termination of the ERRD's engagement or the Agreement, nor will the LEDC advance LEDC Funding with respect to services performed after December 31, 2021; and

WHEREAS, the Agreement requires the City to submit Quarterly Reports after each of the first three 90-day periods of the ERRD's employment as well as an Annual Report due on January 31, 2022 that summarizes the ERRD's efforts and successes through December 31, 2021; and

WHEREAS, the City has informed the LEDC that current LEDC Funding is able to support the ERRD position for up to an additional six (6) months through June 30, 2022.

WHEREAS, the LEDC and City acknowledge the ERRD's progress towards the tasks stated in the Agreement and desire to amend the terms of the Agreement to allow the ERRD to continue their efforts.

NOW, THEREFORE, the City and LEDC agree as follows:

1. **In Section 2.a of the Agreement**, "December 31, 2021" is removed and replaced with "June 30, 2022".
2. **In Section 2.b of the Agreement**, "December 31, 2021" is removed and replaced with "June 30, 2022".
3. **In Section 2.c. (v.) of the Agreement**, "for one year" is removed and replaced with "through June 30, 2022".

4. **In Section 2.c. of the Agreement**, “The performance payment described in v. is conditioned on the City providing a satisfactory Annual Narrative Report covering the prior year” is removed and replaced with “The performance payment described in v. is conditioned upon the City providing a satisfactory Annual Narrative Report covering the ERRD’s term of employment through June 30, 2022”.
5. **In Section 2.f of the Agreement**, “December 31, 2021” is removed and replaced with “June 30, 2022”.
6. **In Section 3.b of the Agreement**, “Promptly after each of the first three 90-day periods of the ERRD’s employment,” is removed and replaced with “Promptly after each of the 90-day periods of the ERRD’s employment through June 30, 2022,”.
7. **In Section 3.c of the Agreement**, “January 31, 2022” is removed and replaced with “July 31, 2022” and “December 31, 2021” is removed and replaced with “June 30, 2022”.
8. **No Other Changes**. Except as otherwise expressly provided in this First Amendment, all of the other terms and conditions of the Agreement, as amended, remain unchanged and in full force and effect.
9. **Defined Terms**. Capitalized terms not otherwise defined in this First Amendment, have the meanings ascribed to them in the Agreement.
10. **Counterpart Signatures**. This First Amendment may be signed electronically or in counterpart and each electronic signature and/or counterpart shall be enforceable as though it is an originally signed signature page to this First Amendment.

[Signature Page to Follow]

IN WITNESS WHEREOF, the Parties hereto have caused this First Amendment to the COVID-19 Economic Recovery Resource Developer Contract to be duly executed as of the date first written above.

Dated _____, 2022

CITY:
CITY OF LANSING

BY: _____
Andy Schor, Mayor

Dated _____, 2022

LANSING ECONOMIC
DEVELOPMENT CORPORATION:

BY: _____
LEDC Chairperson

APPROVED AS TO FORM ONLY:

BY: _____

**ECONOMIC DEVELOPMENT CORPORATION
OF THE CITY OF LANSING
Certificate of Resolution by Board of Directors**

At a regular meeting of the Board of Directors of the Economic Development Corporation of the City of Lansing held on Friday, January 14, 2022 at 8:30 a.m., pursuant to notice duly given:

MEMBERS PRESENT:

MEMBERS ABSENT:

The following preamble and resolutions were offered by:

MEMBER: _____, seconded by:

MEMBER:

WHEREAS, both the Lansing Economic Development Corporation (LEDC) and the Lansing Brownfield Redevelopment Authority (LBRA) support the proposed Stadium North Lofts and Senior Lofts development project located at 500 N. Cedar St. and 514 Erie St. (Property) in Lansing, Michigan, and

WHEREAS, the City of Lansing Department of Economic Development and Planning has determined the proposed project is consistent with local development and redevelopment plans and zoning ordinances, and

WHEREAS, the Stadium North project will consist of the construction of two 4-story apartment complexes totaling 143 units of workforce and senior housing, and

WHEREAS, the Stadium North project will require approximately \$33,000,000 in private capital investment and provide multiple benefits including the creation of approximately 2 Full-Time and 2 Part-Time jobs, increased downtown living options and business activity, improved appearance of a highly visible stretch of the Cedar/Larch corridor, and the environmental remediation of a historically contaminated property, and

WHEREAS, to complete the Stadium North project it will require an estimated \$1,000,000 of environmental remediation including removal and proper disposal of contaminated soils and the design and installation of a vapor mitigation system; and

WHEREAS, the LEDC desires to assist MVAH Development LLC, Stadium North Senior Lofts Limited Dividend Housing Association LLC and Stadium North Lofts Limited Dividend Housing Association LLC (Developer) to alleviate the costs of the Environmental Activities and other eligible site costs by applying to the Michigan Department of Environment, Great Lakes, and Energy (EGLE) for a Brownfield Grant amount up to \$1,000,000 dependent on available funding, and

WHEREAS, the LEDC will provide a complete Brownfield Redevelopment Grant application to EGLE for consideration, and

WHEREAS, if the LEDC is awarded a grant from the EGLE the LEDC will enter into agreements with EGLE and the Developer specifying the terms and conditions under which the grant and or loan will be used to assist the Developer with the Project.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF DIRECTORS OF THE LANSING BROWNFIELD REDEVELOPMENT AUTHORITY, AS FOLLOWS:

1. The Lansing Economic Development Corporation (LEDC) supports the application submitted for a Brownfield Redevelopment Grant Michigan Department of Environment, Great Lakes, and Energy (EGLE), to assist with the proposed Stadium North Lofts and Senior Lofts brownfield redevelopment project located at 500 N. Cedar St. and 514 Erie St. in Lansing, Michigan.
2. The Lansing Economic Development Corporation Board accepts the Grant, if approved by EGLE, to be issued to and managed by the LEDC.
3. The LEDC also directs its authorized representative(s) to negotiate and enter on the LEDC's behalf any related grant agreements to assist the Developer with the project.
4. The LEDC concurs with the City of Lansing Department of Economic Development and Planning that the proposed project is consistent with local development and redevelopment plans and zoning ordinances.
5. Additionally, the LEDC agrees that if any section, clause or phrase of this Resolution is declared as invalid by a court of law, that ruling shall not affect the intent and purpose of this Resolution and validity of the remaining provisions of the Resolution.
6. Finally, the LEDC declares that all resolutions or parts of resolutions in conflict with any of the provisions of this Resolution are repealed.

YEAS:

NAYS:

ABSTENTIONS:

ABSENT:

PREAMBLE AND RESOLUTIONS DECLARED ADOPTED.

STATE OF MICHIGAN)
) ss.
 COUNTY OF INGHAM)

I hereby certify that the foregoing is a true and a complete copy of a preamble and resolutions adopted at a regular meeting of the Economic Development Corporation of the City of Lansing held on the 14th day of January 2022, and said preamble and resolutions are on file in the office of the Economic Development Corporation of the City of Lansing and are available to the public. Public notice of the meeting was given pursuant to and in compliance with Act No. 267, Public Acts of Michigan 1976, notice by publication or posting of at least eighteen (18) hours prior to the time set for the meeting. In addition, the meeting was held in full compliance with the Board's By-Laws.

IN WITNESS WHEREOF, I have hereunto affixed my official signature.

Chair

I. PROJECT NAME AND LOCATION

Project Name:	Stadium North Lofts and Senior Lofts		
Project Address:	500 Cedar Street		
Project City:	Lansing		
Project County:	Ingham	Project Zip Code:	48912
State Senate District:	23	State House District:	68

II. APPLICANT INFORMATION

Applicant Name:	LEDC		
Applicant Address:	1000 S. Washington Avenue, Suite 201		
Applicant City:	Lansing	Applicant Zip Code:	48910
APPLICANT CONTACT INFORMATION			
	Applicant Signing Authority Contact	Applicant Project Contact	Project Consultant (if applicable)
Name:	Karl Dorshimer	Kris Klein	JP Buckingham
Title:	Director of Economic Development	Director of Economic Development	COO
Phone:	(517) 599-1136	(517) 599-1136	(517) 930-1089
Email:	karl@purelansing.com	kris@purelansing.com	Jp.buckingham@triterra.us

III. FUNDING REQUEST

Amount Requested:	Approximately \$972,101
Funding Source:	☒ RPF ☒ 201 ☐ Site Assessment
Funding Type:	☒ Grant ☐ Loan ☐ Either

IV. GENERAL PROJECT INFORMATION

Previous use(s):	Based on Triterra's review of historical information, a total of eight residential houses existed on the Property from at least 1898 to the early 1920s. Demolition of the houses occurred in phases starting in the early 1920s to convert the Property to commercial use. The southern portion of the Property (and portions of the north-adjointing site) operated as a dairy distributor (Lansing Dairy Company and McDonald Dairy Company) from the early 1920s to early 1970s and bee keeping supply (M.H Hunt & Sons, Michigan Bee & Farm Supply and M.J. Beck) from at least 1916 to 1953. The northern portion of the Property operated as a tool and welding shop (National File Company) from the late 1930s to early 1970s, refrigerator repair in at least 1951, and a chrome plater (Krome King) from the late 1960s to early 1970s. All the houses and the commercial buildings on the Property were razed by the early 1970s except for the former dairy cooler located in the eastern portion of the Property (built in 1964) and a pole barn located in the western portion of the Property (built in 1966). The Property (and north-adjointing) site are currently utilized by Chief Cart, a golf cart sales, service, and rental operation. The pole barn is utilized for golf cart storage and the former dairy building is utilized for dry storage.
Current use(s):	The Property (and north-adjointing) site are currently utilized by Chief Cart, a golf cart sales, service, and rental operation. The pole barn is utilized for golf cart storage and the former dairy building is utilized for dry storage.
Proposed new use(s):	Residential Apartments
Known or suspected contaminants:	Various VOCs, PAHs and Metals

PROJECT SUMMARY

Provide one paragraph below that summarizes the redevelopment, the environmental challenge that needs to be addressed, and how the brownfield funding will be used to address that challenge:

The development consists of two 4-story apartment complexes totaling 143 units. Site plan is attached. As discussed above this site has a lot of history which has resulted in contamination and fill material throughout. Contaminates were found in the soil and soil gas at levels above the Part 201 cleanup criteria and above the volatilization to indoor air pathway (VIAP) screening levels. Based on these levels an appropriate vapor mitigation system will need to be designed and installed below the slabs of these apartment buildings. In addition, based on the results of the Geotechnical Evaluation, fill material within the proposed footprint of the apartments will need to be removed in order to prepare the site for development. The urban fill material is contaminated and unsuitable to construct on. Grant funds are being requested to help pay for design and install of a vapor mitigation system and removal and proper disposal of contaminated soil within the proposed building footprints.

Does the property have any of the following:			
A liable party known to have caused or contributed to a release at the site?	☐ Yes	☒ No	
Known environmental actions or enforcements by a regulatory agency?	☐ Yes	☒ No	
A liable party undertaking corrective actions at the site?	☐ Yes	☒ No	
Known environmental liens?	☐ Yes	☒ No	
Known legal, access, or title issues?	☐ Yes	☒ No	
Deed restriction, land, or resource use restriction?	☐ Yes	☒ No	
Provide a detailed explanation for any Yes answers above:			
Provide any other relevant information regarding property ownership and operations, if applicable:			

V. PROPERTY AND OWNERSHIP INFORMATION			
CURRENT OWNER			
Parcel ID#:	33-01-01-16-228-033		
Property Address:	500 Cedar Street		
Latitude & Longitude (to 8 digits):	42.739201 and 84.545807		
Current Zoning:	Lt Industrial		
Proposed Zoning:	Residential		
Acreage:	3.193		
Property Acquisition Type (inheritance, purchase, tax reversion, other):	Purchase		
Date of Acquisition:	N/A		
Did the Current Owner Complete a Baseline Environmental Assessment (BEA)?	☐ Yes ☒ No	☐ Yes ☐ No	☐ Yes ☐ No
Current Owner Name:	Eydel Properties II LLC		
Current Owner Address:	2501 Coolidge Road		
Current Owner Email and Phone:	sameyde@sameyde.com		
Name and Address of Occupant:	Chief Cart, 500 Cedar		
Operations at the Property:	Golf cart sales and repair		
Date Operations Began:	Approx. 2010		

FUTURE OWNER ☐ N/A - Ownership will not change			
Parcel ID#:	33-01-01-16-228-033		
Future Owner Name:	Stadium North Senior Lofts Limited Dividend Housing Association LLC and Stadium North Lofts Limited Dividend Housing Association LLC	Acquisition is planned for February/March 2022. A BEA will be submitted prior to closing.	
Future Owner Address, City, State, Zip:	9100 Centre Pointe Drive, Suite 210, West Chester, Ohio 45069		
Future Owner Email and Phone:	Denise.blake@mvahpartners.com (937) 701-0443		
How will the property be acquired? (purchase, tax inversion, inheritance, other)	Purchase		

VI. PROPERTY USE AND ENVIRONMENTAL CONDITIONS

PROPERTY HISTORY

List the current and former uses of the property below, including dates, owners (if known), and potential contaminants associated with each property use.

Parcel ID / Property Address	Date Range (Year)		Property Use	Potential Contaminants and/or Recognized Environmental Conditions (RECs)	Property Owner
	From	To			
33-01-01- 16-228-033 500 Cedar Street	1898	1928	Residential	Low risk/maybe fill used for backfill. No records of fuel oil use	Various residents
	1933	1972	Auto repair/McDonald Dairy Co., Junkyard, welding shop and Krome King	Petroleum and hazardous substances	During this period the following businesses operated on the Property: Kamins Auto Parts, State Heating and Cooling, Lansing Dairy Co., and McDonald Dairy Co.
	1975	present	Cart repair, storage, office	Petroleum	the following businesses operate on the Property: AARO Rentals, A to Z Rentals, and Chief Cart Inc.

ENVIRONMENTAL RISKS

Known Contaminants:	
Pathways of Concern:	☒ Groundwater/Surface Water Interface (GSI) ☒ Drinking Water ☒ Volatilization to Indoor Air ☐ Ambient Air ☒ Direct Contact ☐ Unknown

PETROLEUM INFORMATION

Were underground storage tanks (USTs) ever located on the property? ☒ Yes ☐ No ☐ Suspected

Are USTs <u>currently</u> present on the property?							☐ Yes	☒ No	☐ Suspected
Has a UST release been reported for the property?							☒ Yes	☐ No	
Summarize known UST information below.									
Tank ID #	Size	Contents	Installation Date	Removal Date	Status (active, removed, etc.)	Release ID #			
UTK-000158-21	1,000	Gasoline	Unknown	8/24/21	Removed	REL-0173-21			
HAZARDOUS SUBSTANCE INFORMATION									
Was there ever a non-UST related release of a hazardous substance on the property?				☐ Yes ☐ No ☒ Unknown					
Summarize known hazardous substance release information below.									
Date of Release	Description of Release				Status	Release ID #			
To the best of your knowledge, did the applicant cause or contribute to contamination that is known or may be discovered at the project site?					☐ Yes ☒ No, did NOT cause or contribute to contamination ☐ May have caused or contributed to contamination				
To the best of your knowledge did the developer cause or contribute to contamination that is known or may be discovered at the project site?					☐ Yes ☒ No, did NOT cause or contribute to contamination ☐ May have caused or contributed to contamination ☐ Not Applicable/No developer				
ENVIRONMENTAL CONDITION OF THE PROPERTY									
Provide below a brief description of what is known about the environmental condition of the property. Describe known and/or suspected contamination and the risk that needs to be mitigated/addressed to safely reuse the property. Provide maps and figures showing contaminant exceedances (see checklist in Section XII):									
Since 2007 a total of 23 soil borings have been advanced on the Property. Nine monitoring wells and two temporary wells were installed on the property. Ground water was encountered at a depth of approximately 30 feet below grade. Perched groundwater was encountered at depths ranging from 5 to 10 feet below grade. The									

temporary well installed at boring B-1 was screened at a depth of 27.5 to 31 feet below grade. Monitoring wells MW-1 through MW-9 were screen at approximately 5 to 10 feet below grade. Fourteen soil gas screens were also installed on the Property. A soil gas screen is six inches in length and is constructed of double woven stainless steel wire screen. A soil screen is used when sampling soil gas where no building is present. The screen was installed at a depth of approximately five feet below grade.

Based on the results of these investigations, various VOCs, PAHs and metals were found in the soil throughout the property at levels above the Part 201 Drinking Water Protection Criteria, Groundwater Surface Water Interface Protection Criteria and/or Direct Contact (lead). Mercury was above the Volatilization to Indoor Air Pathway (VIAP) Screening Levels. Naphthalene and 1,3-dichlorobenzene were found in the soil gas above the VIAP screening levels. Figures showing sample locations and exceedances are attached.

PROPOSED ENVIRONMENTAL ACTIONS WITH GRANT/LOAN FUNDING

Check all that apply.

- ☐ Hazardous Material Survey
☐ BEA
☐ Excavation

- ☐ Assessment/Investigation
☒ Due Care Planning
☒ Soil Transport/Disposal

- ☐ UST Removal
☒ Demolition
☒ Vapor Mitigation

☐ Other (please describe):

Describe the proposed actions that will be undertaken with grant and loan funds to address the environmental conditions and make the property safe for the proposed reuse. Please explain reasons why the proposed eligible activities should be funded.

Transport and Disposal

A total of 23 environmental soil borings and 15 geotechnical borings have been completed on the property. Fill material was encountered in all 38 soil borings on the Property. The fill material ranged from 2 feet to 8.5 feet below grade within the proposed building footprints. The fill materials consisted of sand and clayey sand with pieces of concrete, brick, slag, and organics. Contamination within the footprint of the proposed buildings ranged from two to six feet below grade. Orion Construction and Driesenga (Geotechnical firm) have proposed removing approximately 3,823 cubic yards of soil from the Stadium North Lofts and approximately 3,387 cubic yards from the Stadium North Senior Lofts. Excavation depths will range from three to five feet below grade in some areas. Boring locations and exceedances are shown on the attached Figure 3.

Based on the results of our investigations and the recommendations from Orion and Driesenga, the contaminated urban fill material within the proposed footprint will need to be removed and transported to a type II landfill.

VMS

Based on the results of the soil gas investigation, naphthalene was identified in one soil gas sample within the proposed footprint of the Stadium North Lofts. Mercury was identified in the soil at three locations within the footprint of the proposed building at concentrations above VIAP. The depths ranged from two to five feet below grade. In addition, mercury and various VOCs were identified outside the footprint at concentrations above VIAP.

1,3-dichlorobenzene was identified in three soil gas samples above VIAP within the proposed footprint of the Stadium North Senior Lofts. Various VOCs were identified in the soil, at depths ranging from five to six feet below grade, within the footprint of the proposed building at levels above VIAP.

As previously discussed, excavation activities are planned for each building. However not all of the impacted soil will be removed. In addition, there is impacted soil outside the proposed building footprint that could create an indoor air issue. Therefore, Triterra recommends installing an active vapor mitigation system below each proposed building. It should be noted that there will be no basements.

Due Care

Triterra has budgeted time for pre-development due care planning consisting of VMS design, contractor bidding and procurement, appropriate reporting (i.e., ResAP/Work Plans), VMS installation and oversight, excavation oversight, necessary reporting post development (i.e., DDCC).

The Part 201 grant funds will be used on the Stadium North Senior Lofts and the RPF grant will be used to support the Stadium North Lofts. The Senior Lofts development will start first. Once these activities have been completed then activities will begin on the Stadium North Lofts.

Provide maps showing contamination relative to the building footprint and/or the development plan (see checklist in Section XII): See attached Figures

DEMOLITION

If a grant or loan will be used for demolition (buildings, site features, etc.), answer the following questions:

Does the structure impede the proposed environmental response activities? ☐ Yes ☒ No

Does the structure present a health or safety threat? ☐ Yes ☒ No

Does the structure impede the reuse of the property? ☒ Yes ☐ No

Do the environmental activities exceed the cost of demolition? ☒ Yes ☐ No

Further explanation, if necessary:

Asbestos containing materials (ACM) and lead-based paint are present within the building and will require abatement prior to commencement of demolition and renovation activities. Demolition costs included in this project proposal do not exceed 50% of total proposed eligible costs.

VII. ECONOMIC AND REDEVELOPMENT INFORMATION

Capital Investment:
\$ 33 Million

Permanent Jobs Created: Full Time = 2
Part Time = 2

Current State
Equalization Value (SEV):
\$ 356,400

Anticipated post redevelopment SEV: \$ 6.8 Million

Is there a developer committed to the project? ☒ Yes ☐ No

Developer's Name: MVAH Development LLC

Provide a brief summary of how the redevelopment project will provide an economic benefit to the community:

The project includes demolition of all existing buildings and site features and the construction of two 4-story apartment complexes totaling 143 units. Total private investment is currently estimated at approximately \$33,000,000 and is estimated to create 2 full-time equivalent jobs and 2 part-time jobs. This project will increase urban density along Cedar and Larch Street corridor and will provide additional housing to the area consistent with established priorities for the city and region. The project will result in: (1) the community and municipal benefits of increased property taxes; (2) a substantial improvement to the appearance and aesthetics of the property in its current state, which will assist in increasing the property values of the neighboring community; and (3) mitigate exposure risks to human health, safety and the environment.

The full-time jobs will consist of an onsite property manager/leasing agent for each building. The part time jobs would be for maintenance and janitorial type work.

DEVELOPER'S EXPERIENCE

Provide a brief summary of the developer's business experience, including any other businesses, terms and conditions of their participation in the project, bankruptcies, and civil or criminal enforcement actions related to environmental violations:

See attached

☐ N/A - Project does not have developer

DEVELOPER'S PROJECT FINANCING

Summarize the sources of your total capital investment and the status of the financing.

☐ N/A - Project does not have a developer

Source of Funding	Estimated Amount	Status of Approval
Stadium North Lofts - Equity -	\$13,454,636	Approved
Perm Loan	\$3,350,000	Negotiating terms sheets
Stadium North Senior Lofts - Equity	\$13,193,891	Approved
Perm Loan	\$3,250,000	Negotiating terms sheets
TOTAL =	\$33,248,527	

TAX INCREMENT FINANCING (TIF)

Will the project use Brownfield TIF?	☐ Yes ☒ No
If Yes, identify all sources that apply:	☐ EGLE ☐ MEDC ☐ Local

PURCHASE AND DEVELOPMENT AGREEMENTS

Is there a purchase agreement in place?	☒ Yes ☐ No ☐ N/A
Status of purchase agreement:	In-place
Status of development agreement:	Nothing in-place, working on approval from LEDC

As a requirement of EGLE funding, is the developer willing to enter into a development agreement with the applicant?	☒ Yes ☐ No ☐ NA
Has the project received site plan approval?	☐ Yes ☒ No If no, explain: Review application was submitted to the City on December 22, 2021. Currently under review.
SCHEDULE	
Provide a summary schedule for the completion of the proposed eligible activities: <i>Identify the dates redevelopment is expected to begin and be completed:</i> Estimated Start Date: April 2022 Estimated Completion Date: June 2023	

VIII. COMMUNITY OUTCOMES

Will existing infrastructure be reused? Please describe: Water, sanitary, sewer and gas are available to the property.	☒ Yes ☐ No
Is the community in which the project is located economically disadvantaged, depressed, or facing other significant challenges? If yes, explain: Based on conversations with LEAP and review of citydata.com, this is a low to moderate income area. The immediate area of the property is comprised of active, although aging, commercial and residential use.	☐ Yes ☒ No
Does the project fit into the community's development plans? Please explain: In 2012, the Lansing City Council adopted "Design Lansing 2012 Comprehensive Plan" a master plan developed in conjunction with the Planning and Neighborhood Development Department. The Design Lansing plan recommended locating higher-density housing on transit routes, such as Cedar and Larch Street, whether as part of a mixed-use center or as transition between single-family neighborhoods and high-volume traffic streets. The subject property was identified as an area of proposed transformation upon a series of 25 workshops with community groups. The City of Lansing has also designated this Property as an Opportunity zone.	☒ Yes ☐ No
COMMUNITY BENEFITS	
Provide a brief summary of how the redevelopment project will result in social or other community benefits, including job creation, increased tax base, blight removal, addressing dangerous conditions, placemaking, impact on surrounding properties, etc: Community and social benefits, beyond environmental cleanup at the site such as asbestos abatement and soil removal, include the following:	

- increased urban density and additional housing to the Stadium District.
- the project will utilize existing services available to the property and the location promotes walkability principles and environmentally friendly transportation choices consistent with Transit-Oriented Development,
- the project will provide new and desirable downtown living spaces, improved downtown appearance, and increased downtown retail traffic by virtue of new residents' occupancy,
- the measures proposed as part of the redevelopment project will mitigate potential due care concerns and allow for safe reuse of the property,
- the improvements to the property will be permanent and significantly increase the Taxable Value of the property and provide a positive impact to surrounding areas/properties, and

The senior development will include "aging in place" design elements such as wider spacing and flatter transition of hallways, doorways, etc. and placement of amenities making the living space functional and adaptable as common aging obstacles arise. In addition, there will be on-site supportive services consisting of credit counseling and transportation.

IX. LOCAL COMMITMENT

LOCAL CONTRIBUTIONS TO THE PROJECT

Describe the local contributions to the project, including but not limited to; other funding sources provided or supported, use of TIF, tax abatements, other grants and incentives, land contribution, reduced purchase price, utility or right-of way work, staff time committed to the project:

The City of Lansing Brownfield Development Authority (LBRA) has been in support of the proposed project since early 2021 with its support of an application to the Lansing Regional Brownfields Coalition (LRBC) and use of its Environmental Protection Agency (EPA) Brownfield Assessment Grant. The LRBC awarded \$49,500 in EPA Brownfield grant funds to conduct subsurface investigations and reporting (BEA).

The city of Lansing will support this project with a payment in lieu of taxes (PILOT). Tax incentive from the City will help with cash flow and operations for the property.

X. CERTIFICATION

The undersigned, as the representative of the applicant, certifies that the information provided in this application and its attachments is true and complete to the best knowledge and belief of the applicant and the undersigned.

Karl Dorshimer
 Typed name of Applicant's Representative

/s/
 Signature

Director of Economic Development
 Title

Date

☒ I agree to the use of electronic signatures with EGLE

Please submit the proposal electronically to

EGLE-Brownfields@michigan.gov

Please call 517-242-9276 with questions.

#mibrownfields

www.michigan.gov/eglebrownfields

Budget Table and Required Attachments

REQUIRED ATTACHMENTS

Please complete the following checklist and attach the supporting documentation.

#	DESCRIPTION	ATTACHED?	COMMENTS
1	Budget Table	☒ Yes ☐ No	
2	Site Maps: Map(s) showing the location of the project area, site boundaries, existing structures, etc.	☒ Yes ☐ N/A	
	Map(s) showing the location of known contaminants, recognized environmental concerns [including contaminant boundaries (when known)], and contaminant concentrations.	☒ Yes ☐ N/A	
	Map(s) showing proposed development in relation to contaminants.	☒ Yes ☐ N/A	
	Map(s) showing site development plans.	☒ Yes ☐ N/A	
3	Analytical data summary tables.	☒ Yes ☐ N/A	
4	Agreements Purchase Agreement	☒ Yes ☐ N/A	
	Development Agreement	☐ Yes ☒ N/A	
5	Site Photos High quality, publishable digital photos of the site. Please also provide these electronically in jpg format.	☒ Yes ☐ N/A	
6	Describe other attachments provided:		

Developer's Experience

1. Overview of Organizational Structure and Staffing

The development team is comprised of firms and individuals possessing the specific skills and experience necessary to develop affordable housing communities. MVAH Development has an extensive amount of experience developing and partnering with non-profits.

MVAH Development (MVAH) is a for-profit developer resulting from a spin-off from Miller-Valentine Group, a successful real estate company founded in 1963. MVAH is an experienced developer of multifamily affordable housing. MVAH is a nationally recognized, affordable housing company consisting of the principals and key development staff of the affordable housing branch of Miller-Valentine Group. Affordable Housing Finance



magazine has ranked MVAH in the top 30 affordable housing developers, for each of the last three years.

MVAH began developing affordable housing in 1994. Since then, MVAH has developed more than 5,000 affordable housing units ranging across a broad spectrum of housing types: multi-story apartment properties for families and seniors, villas, single-family developments, rehabs, adaptive reuse of existing buildings in large and small communities. MVAH has a singular focus on developing quality affordable housing for those who need it most. This includes over 85 affordable housing properties in 15 states.

MVAH Development has been financing and developing affordable housing since 1994, and has experience and extensive knowledge of tax-exempt bond financing, FHA-insured mortgages, the Freddie TEL program, 9% and 4% federal and state low-income housing tax credits, workforce housing tax credits, federal and state historic tax credits, HOME funding, CDBG funding, TCAP, RD 538 loans, development funds run by the states of Ohio, Indiana, and North Carolina, tax credit equity bridge loans, competitive Affordable Housing Program grants, City and County low-interest rate loans, NeighborWorks grants, Neighborhood Stabilization Program, Pennsylvania Gaming Grant, County EDIT and Pilot tax incentives, and City and County Housing Trust Funds. The above experience information shows the financing experience of every development that MVAH Development has financed, developed, and constructed

over the past five years and demonstrates real-estate financing experience and ability in Ohio, Texas, Georgia, Pennsylvania, Indiana, Iowa, West Virginia, Oklahoma, Illinois, and North Carolina. The Lofts at Roberts Hotel development located in Muncie, Indiana included a capital stack of 12 financing sources.

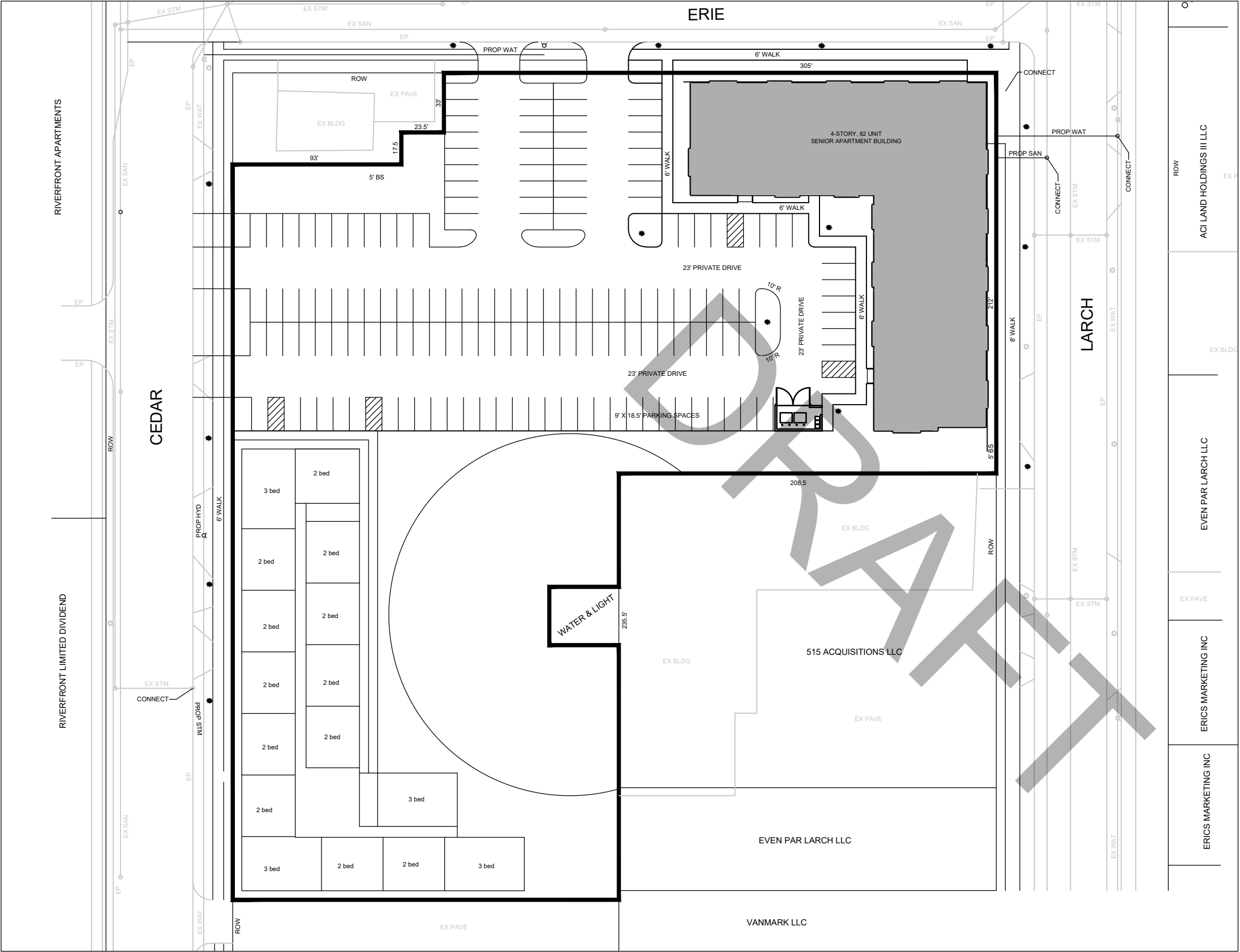
MVAH Development has successfully closed financing on transactions with some of the biggest financial names in the affordable housing industry, including PNC Bank, Bank of America, Regions Bank, Citi Bank, RBC Capital Equity, Gardener Capital, Sugar Creek Capital, Ohio Housing Capital, Berkshire Hathaway through Affordable Housing Partners, Inc., JP Morgan Chase, Suntrust Bank, NDC Capital, CREA Capital, Capital One, Hudson Housing, TDHCA, HUD, and many others. We have utilized a wide range of partners throughout our development portfolio and always strive to keep our options open and negotiate the best deals for ourselves and our client.

DRAFT

Sheeting and shoring necessary for removal of contaminated soil at sites requiring permits under Part 301, 303, or 325									
Contingency (up to 15% of grant/loan)	\$ 116,108	\$ 57,540	\$ 58,568						
3rd Party Environmental Oversight (up to 5% of grant/loan)									
Administration (up to 3% of grant/loan)	\$ 27,993	\$ 14,305	\$ 13,688						
EGLE Project Sign (grant/loan requirement)	\$ 1,000	\$ 500	\$ 500						
Grant Closeout Report (grant/loan requirement)	\$ 10,000	\$ 5,000	\$ 5,000						
Remaining project costs	\$ 33,248,527							\$ 33,248,527	
TOTAL	\$ 34,220,628	\$ 496,645	\$ 475,456	\$ -	\$ -	\$ -	\$ -	\$ 33,248,527	\$ -

NOTE: If grant/loan funded activities are planned to be performed by the project developer's consulting firm, EGLE expects that the applicant will hire its own environmental oversight professional. Exceptions will be considered in low-risk situations on a case-by-case basis. The environmental oversight professional's fees are eligible for reimbursement with the proposed grant or loan. Please include an environmental oversight professional in the budget if applicable.

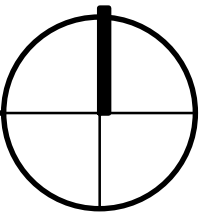
DRAFT



KEY	
	NEW TREE
	PARKING SPACE COUNT

site plan

1" = 60'-0"


STADIUM NORTH SENIOR LOFTS
lansing, michigan



EXTERIOR FINISH LEGEND

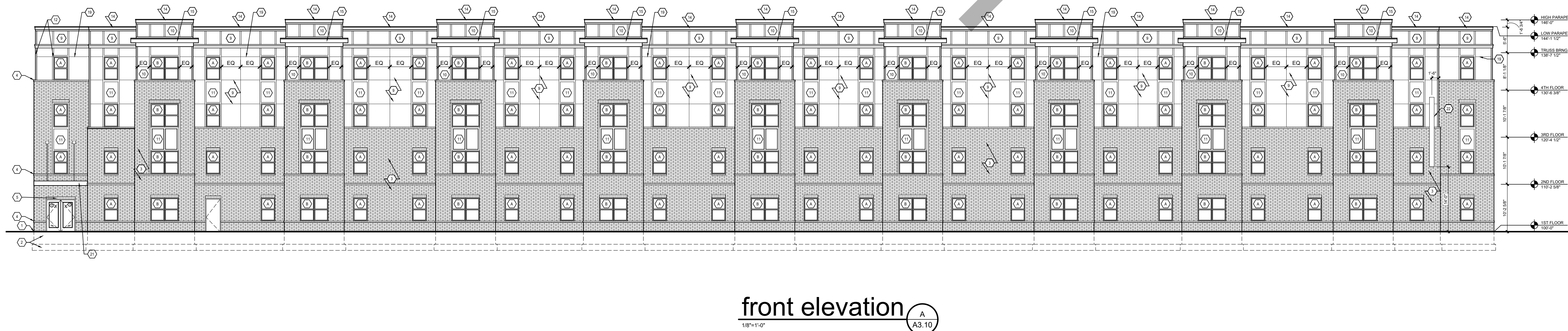
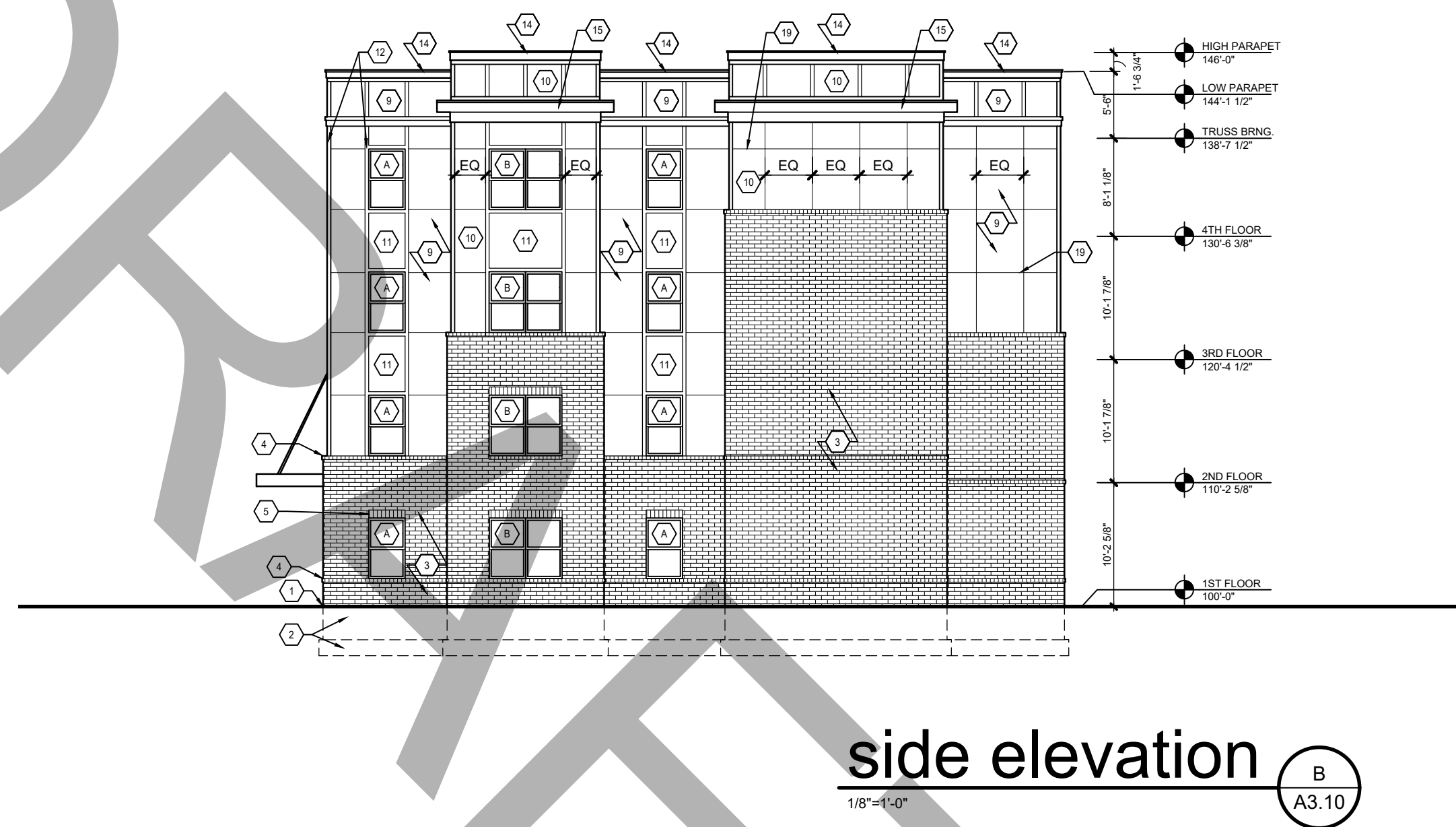
- FACE BRICK VENEER (FB-1)
- FIBER CEMENT PANEL SIDING, (FC-1), LIFETIME WARRANTY
JAMES HARDIE FIBER CEMENT WITH 1/4" JOINT, COLOR: COBBLE STONE
- FIBER CEMENT PANEL SIDING AT BUILDING PROJECTIONS, (FC-2),
LIFETIME WARRANTY, JAMES HARDIE FIBER CEMENT WITH 1/4" JOINT,
COLOR: MOUNTAIN SAGE
- FIBER CEMENT ACCENT PANEL SIDING, (FC-3), LIFETIME WARRANTY,
JAMES HARDIE FIBER CEMENT, COLOR: WOODSTOCK BROWN.
- SHEET METAL FLASHING AND TRIM: ALL PRE-FINISHED METAL DOWNSPOUTS,
FASCIAS, ETC., TO BE BY DIMENSIONAL METALS INC. NOTE: REFER TO SPECS
FOR EQUAL MANUFACTURERS ACCEPTABLE FOR USE.

GENERAL ELEVATION NOTES

- REFER TO WINDOW TYPE SCHEDULE ON SHEET A3.10 FOR WINDOWS TYPES NOTED
WITH A LETTER DESIGNATION ON PLANS OR ELEVATIONS THUS:
⊙ INDICATES TEMPERED GLASS
- COORDINATE THE DRYER, HOOD, AND TOILET EXHAUST VENTS WITH THE BRICK
VENEER AND PANEL SIDING.
- DOWNSPOUTS TO BE CONNECTED TO DRAINAGE SYSTEM WITH DOWNSPOUT BOOTS.
COORDINATE THE DOWNSPOUT DROPS WITH THE CIVIL CONTRACTOR.
- EXTERIOR LIGHTS, GFIS, HVAC SUB PANELS, HOSE BIBS, TELEPHONE BOXES, AND
CABLE BOXES MUST BE INSTALLED IN PLASTIC J-BOXES AT ALL VINYL SIDING
LOCATIONS.
- THE BUILDING IS TO BE IDENTIFIED USING CLEARLY VISIBLE SIGNAGE AND NUMBERS,
AND IS TO BE WELL LIT FROM DUSK TIL DAWN.
- REFER TO SHEET A3.10 FOR EXTERIOR DOOR COLORS.
- ALL FIBER CEMENT TRIM AT VENTS AND LOUVERS TO BE PAINTED TO MATCH
ADJACENT FIBER CEMENT.

ELEVATION CODED NOTES

- FINISH GRADE- SLOPE AWAY FROM BUILDING
- CONCRETE FOUNDATION - SEE STRUCTURAL
- BRICK VENEER
- BRICK ROWLOCK - COLOR: TO MATCH ADJACENT BODY COLOR
- BRICK HEADER - COLOR: TO MATCH ADJACENT BODY COLOR
- BRICK SILL - COLOR: TO MATCH ADJACENT BODY COLOR
- NO SOLICITING SIGNAGE - SEE DETAIL C/A1.40
- VINYL WINDOW UNIT
- FIBER CEMENT PANEL SIDING, FC-1
- FIBER CEMENT PANEL SIDING, FC-2
- FIBER CEMENT ACCENT PANEL, FC-3
- 4" FIBER CEMENT TRIM
- ENTRY CANOPY. REFER TO C/A4.32
- PRE-FINISHED METAL COPING TO MATCH ADJACENT MATERIALS
- FIBER CEMENT WRAPPED CORNICE
- SCUPPER AND CONDUCTOR HEAD. SEE SHEET A4.32
- 5" ALUMINUM DOWNSPOUT TIED INTO STORMWATER DRAINAGE SYSTEM
- ELECTRICAL METERS LOCATION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS
- 1/4" JOINT AT PANEL SIDING
- BUILDING ADDRESS SIGNAGE
- STAIR CANOPY. REFER TO F/A4.32
- BLADE SIGN, REFER TO 3/A3.11



STADIUM NORTH LOFTS

LANSING, MI

EXTERIOR ELEVATIONS

ISSUE DATE:
11-19-2021
JOB NUMBER:
BDCL21011
REVISIONS

A3.10

EXTERIOR FINISH LEGEND

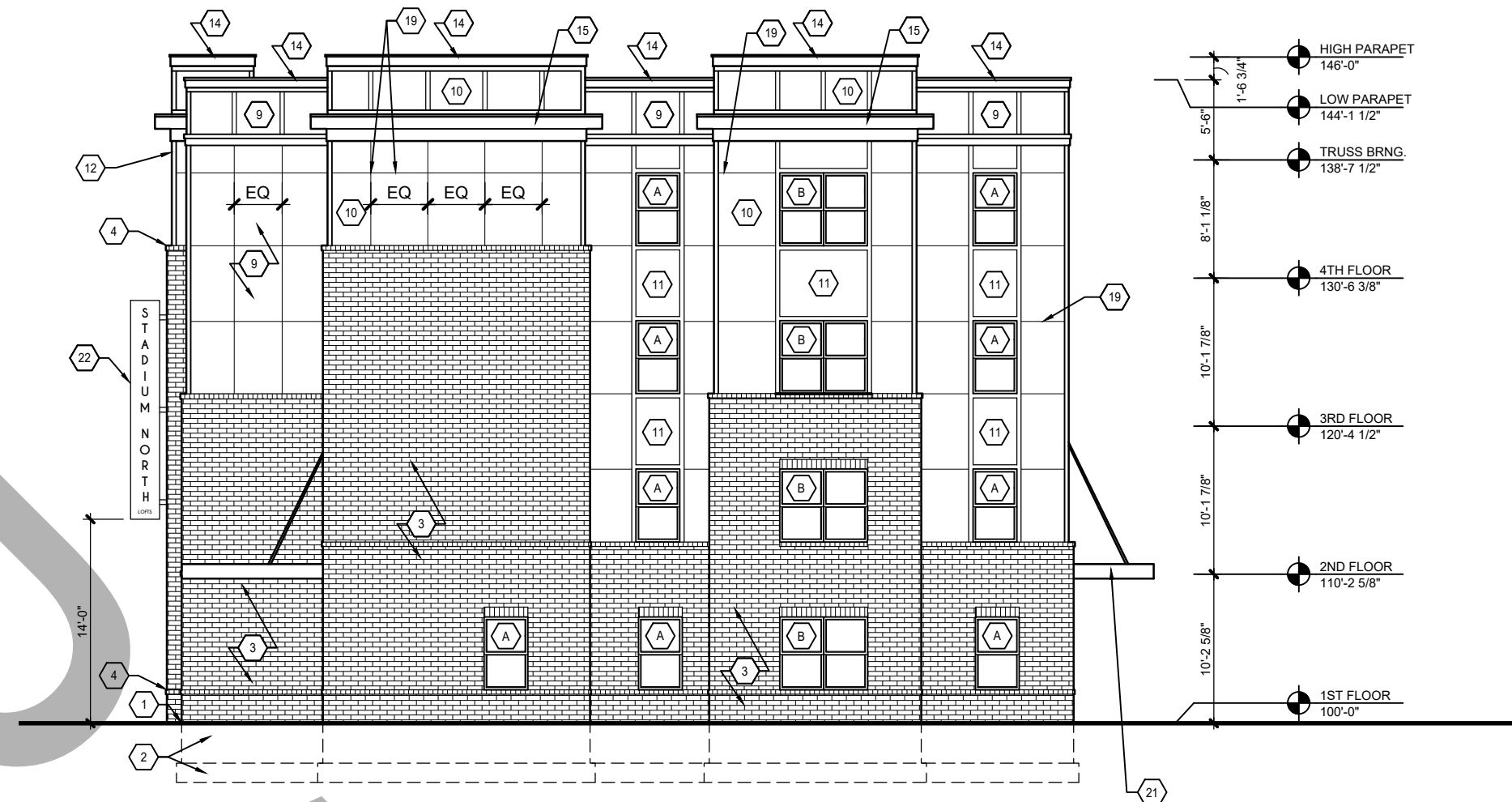
- FACE BRICK VENEER (FB-1)
- FIBER CEMENT PANEL SIDING, (FC-1), LIFETIME WARRANTY
JAMES HARDIE FIBER CEMENT WITH 1/4" JOINT. COLOR: COBBLE STONE
- FIBER CEMENT PANEL SIDING AT BUILDING PROJECTIONS, (FC-2),
LIFETIME WARRANTY, JAMES HARDIE FIBER CEMENT WITH 1/4" JOINT.
COLOR: MOUNTAIN SAGE
- FIBER CEMENT ACCENT PANEL SIDING, (FC-3), LIFETIME WARRANTY.
JAMES HARDIE FIBER CEMENT. COLOR: WOODSTOCK BROWN.
- SHEET METAL FLASHING AND TRIM: ALL PRE-FINISHED METAL DOWNSPOUTS,
FASCIAS, ETC., TO BE BY DIMENSIONAL METALS INC. NOTE: REFER TO SPECS
FOR EQUAL MANUFACTURERS ACCEPTABLE FOR USE.

GENERAL ELEVATION NOTES

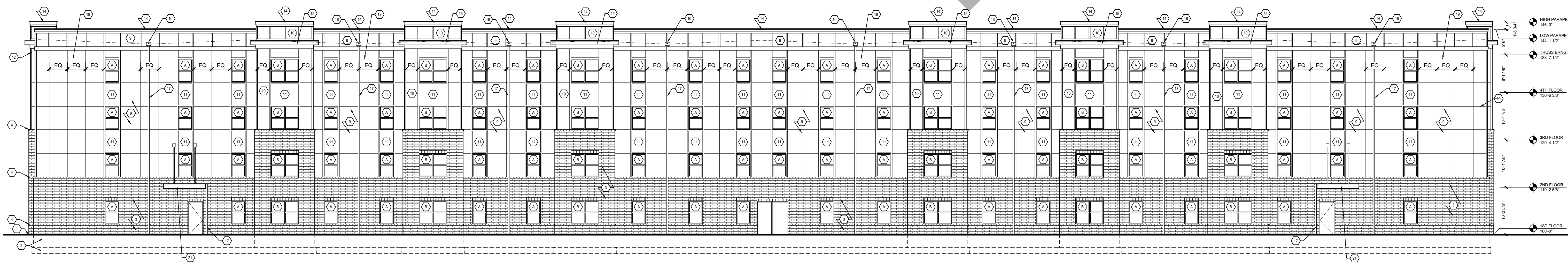
- A. REFER TO WINDOW TYPE SCHEDULE ON SHEET A9.10 FOR WINDOWS TYPES NOTED
WITH A LETTER DESIGNATION ON PLANS OR ELEVATIONS THUS: ⊖
⊙ INDICATES TEMPERED GLASS
- B. COORDINATE THE DRYER, HOOD, AND TOILET EXHAUST VENTS WITH THE BRICK
VENEER AND PANEL SIDING.
- C. DOWNSPOUTS TO BE CONNECTED TO DRAINAGE SYSTEM WITH DOWNSPOUT BOOTS.
COORDINATE THE DOWNSPOUT DROPS WITH THE CIVIL CONTRACTOR.
- D. EXTERIOR LIGHTS, GFIS, HVAC SUB PANELS, HOSE BIBS, TELEPHONE BOXES, AND
CABLE BOXES MUST BE INSTALLED IN PLASTIC J-BOXES AT ALL VINYL SIDING
LOCATIONS.
- E. THE BUILDING IS TO BE IDENTIFIED USING CLEARLY VISIBLE SIGNAGE AND NUMBERS,
AND IS TO BE WELL LIT FROM DUSK TIL DAWN.
- F. REFER TO SHEET A9.10 FOR EXTERIOR DOOR COLORS.
- G. ALL FIBER CEMENT TRIM AT VENTS AND LOUVERS TO BE PAINTED TO MATCH
ADJACENT FIBER CEMENT.

ELEVATION CODED NOTES

1. FINISH GRADE: SLOPE AWAY FROM BUILDING
2. CONCRETE FOUNDATION - SEE STRUCTURAL
3. BRICK VENEER
4. BRICK ROWLOCK - COLOR: TO MATCH ADJACENT BODY COLOR
5. BRICK HEADER - COLOR: TO MATCH ADJACENT BODY COLOR
6. BRICK SILL - COLOR: TO MATCH ADJACENT BODY COLOR
7. NO SOLICITING SIGNAGE - SEE DETAIL C/A1.40
8. VINYL WINDOW UNIT
9. FIBER CEMENT PANEL SIDING, FC-1
10. FIBER CEMENT PANEL SIDING, FC-2
11. FIBER CEMENT ACCENT PANEL, FC-3
12. 4" FIBER CEMENT TRIM
13. ENTRY CANOPY. REFER TO C/A4.32
14. PRE-FINISHED METAL COPING TO MATCH ADJACENT MATERIALS
15. FIBER CEMENT WRAPPED CORNICE
16. SCUPPER AND CONDUCTOR HEAD. SEE SHEET A4.32
17. 5" ALUMINUM DOWNSPOUT TIED INTO STORMWATER DRAINAGE SYSTEM
18. ELECTRICAL METERS LOCATION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS
19. 1/4" JOINT AT PANEL SIDING
20. BUILDING ADDRESS SIGNAGE
21. STAIR CANOPY. REFER TO F/A4.32
22. BLADE SIGN, REFER TO 3/A3.11



side elevation B
A3.11



rear elevation A
A3.11

STADIUM NORTH LOFTS

LANSING, MI

EXTERIOR ELEVATIONS

ISSUE DATE:
11-19-2021
JOB NUMBER:
BDCL21011
REVISIONS

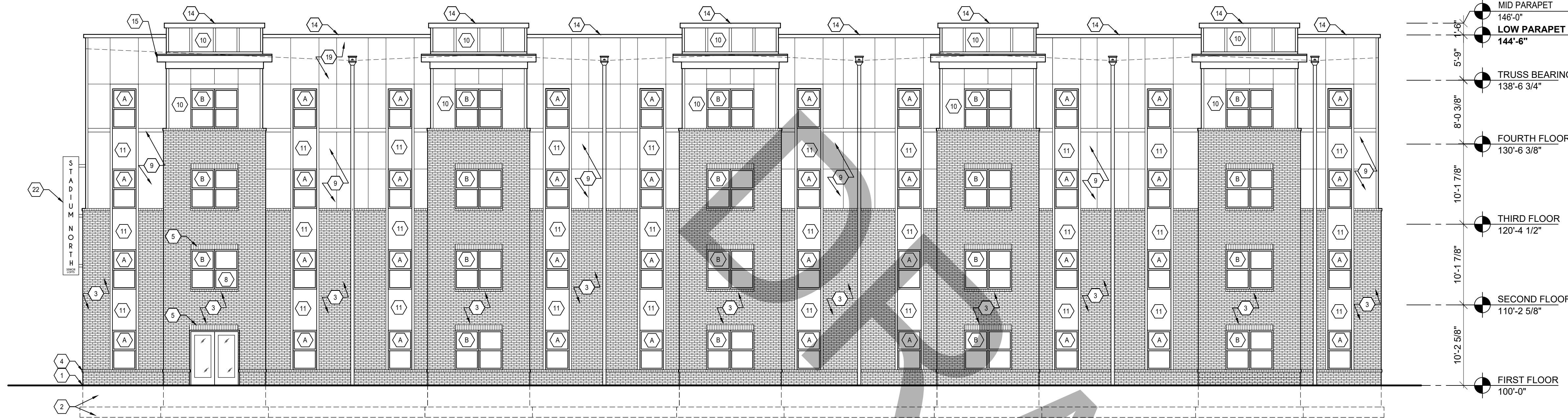
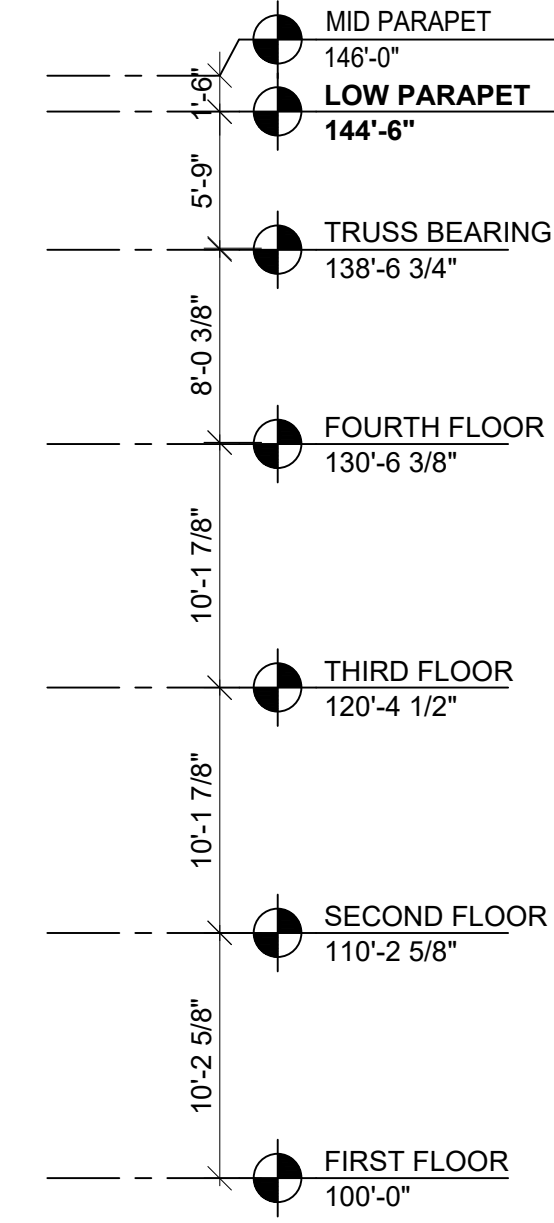
A3.11



EXTERIOR FINISH LEGEND	
	FACE BRICK VENEER (FB-1)
	FIBER CEMENT PANEL SIDING, (FC-1), LIFETIME WARRANTY JAMES HARDIE FIBER CEMENT WITH 1/4" JOINT, COLOR: COBBLE STONE
	FIBER CEMENT PANEL SIDING AT BUILDING PROJECTIONS, (FC-2), LIFETIME WARRANTY, JAMES HARDIE FIBER CEMENT WITH 1/4" JOINT, COLOR: MOUNTAIN SAGE
	FIBER CEMENT ACCENT PANEL SIDING, (FC-3), LIFETIME WARRANTY, JAMES HARDIE FIBER CEMENT, COLOR: WOODSTOCK BROWN.
SHEET METAL FLASHING AND TRIM; ALL PRE-FINISHED METAL DOWNSPOUTS, FASCIAS, ETC., TO BE BY DIMENSIONAL METALS INC. NOTE: REFER TO SPECS FOR EQUAL MANUFACTURERS ACCEPTABLE FOR USE.	

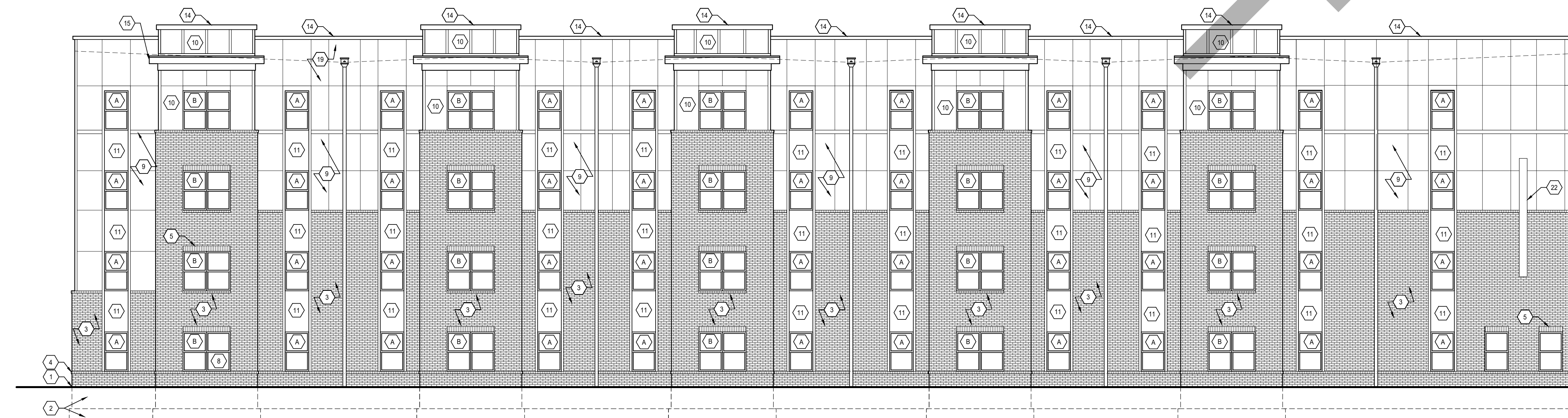
- GENERAL ELEVATION NOTES
- A. REFER TO WINDOW TYPE SCHEDULE ON SHEET A9.10 FOR WINDOWS TYPES NOTED WITH A LETTER DESIGNATION ON PLANS OR ELEVATIONS THUS: ○
○ INDICATES TEMPERED GLASS
 - B. COORDINATE THE DRYER, HOOD, AND TOILET EXHAUST VENTS WITH THE BRICK VENEER AND PANEL SIDING.
 - C. DOWNSPOUTS TO BE CONNECTED TO DRAINAGE SYSTEM WITH DOWNSPOUT BOOTS. COORDINATE THE DOWNSPOUT DROPS WITH THE CIVIL CONTRACTOR.
 - D. EXTERIOR LIGHTS, GFIS, HVAC SUB PANELS, HOSE BIBS, TELEPHONE BOXES, AND CABLE BOXES MUST BE INSTALLED IN PLASTIC J-BOXES AT ALL VINYL SIDING LOCATIONS.
 - E. THE BUILDING IS TO BE IDENTIFIED USING CLEARLY VISIBLE SIGNAGE AND NUMBERS, AND IS TO BE WELL LIT FROM DUSK TIL DAWN.
 - F. REFER TO SHEET A9.10 FOR EXTERIOR DOOR COLORS.
 - G. ALL FIBER CEMENT TRIM AT VENTS AND LOUVERS TO BE PAINTED TO MATCH ADJACENT FIBER CEMENT.

- ELEVATION CODED NOTES
- 1. FINISH GRADE- SLOPE AWAY FROM BUILDING
 - 2. CONCRETE FOUNDATION - SEE STRUCTURAL
 - 3. BRICK VENEER
 - 4. BRICK ROWLOCK - COLOR: TO MATCH ADJACENT BODY COLOR
 - 5. BRICK HEADER - COLOR: TO MATCH ADJACENT BODY COLOR
 - 6. BRICK SILL - COLOR: TO MATCH ADJACENT BODY COLOR
 - 7. NO SOLICITING SIGNAGE - SEE DETAIL C/A1.40
 - 8. VINYL WINDOW UNIT
 - 9. FIBER CEMENT PANEL SIDING, FC-1
 - 10. FIBER CEMENT PANEL SIDING, FC-2
 - 11. FIBER CEMENT ACCENT PANEL, FC-3
 - 12. 4" FIBER CEMENT TRIM
 - 13. ENTRY CANOPY. REFER TO C/A4.32
 - 14. PRE-FINISHED METAL COPING TO MATCH ADJACENT MATERIALS
 - 15. FIBER CEMENT WRAPPED CORNICE
 - 16. SCUPPER AND CONDUCTOR HEAD. SEE SHEET A4.32
 - 17. 5" ALUMINUM DOWNSPOUT TIED INTO STORMWATER DRAINAGE SYSTEM
 - 18. ELECTRICAL METERS LOCATION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS
 - 19. 1/4" JOINT AT PANEL SIDING
 - 20. BUILDING ADDRESS SIGNAGE
 - 21. STAIR CANOPY. REFER TO F/A4.32
 - 22. BLADE SIGN, REFER TO 3/A3.12



front elevation B
A3.10

1/8"=1'-0"



front elevation A
A3.10

1/8"=1'-0"

STADIUM NORTH SENIOR LOFTS

LANSING, MI

EXTERIOR ELEVATIONS

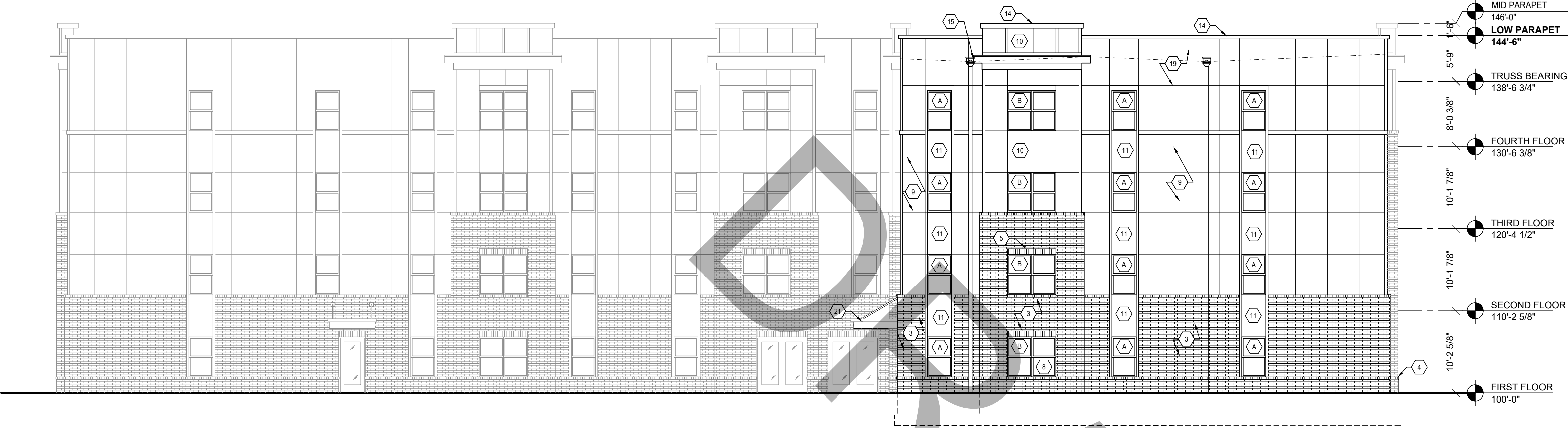
ISSUE DATE:
10-15-2021
JOB NUMBER:
BDCL21012
REVISIONS



EXTERIOR FINISH LEGEND	
	FACE BRICK VENEER (FB-1)
	FIBER CEMENT PANEL SIDING, (FC-1), LIFETIME WARRANTY JAMES HARDIE FIBER CEMENT WITH 1/4" JOINT. COLOR: COBBLE STONE
	FIBER CEMENT PANEL SIDING AT BUILDING PROJECTIONS, (FC-2), LIFETIME WARRANTY, JAMES HARDIE FIBER CEMENT WITH 1/4" JOINT. COLOR: MOUNTAIN SAGE
	FIBER CEMENT ACCENT PANEL SIDING, (FC-3), LIFETIME WARRANTY, JAMES HARDIE FIBER CEMENT. COLOR: WOODSTOCK BROWN.
SHEET METAL FLASHING AND TRIM; ALL PRE-FINISHED METAL DOWNSPOUTS, FASCIAS, ETC., TO BE BY DIMENSIONAL METALS INC. NOTE: REFER TO SPECS FOR EQUAL MANUFACTURERS ACCEPTABLE FOR USE.	

- GENERAL ELEVATION NOTES
- A. REFER TO WINDOW TYPE SCHEDULE ON SHEET A9.10 FOR WINDOWS TYPES NOTED WITH A LETTER DESIGNATION ON PLANS OR ELEVATIONS THUS: INDICATES TEMPERED GLASS
 - B. COORDINATE THE DRYER, HOOD, AND TOILET EXHAUST VENTS WITH THE BRICK VENEER AND PANEL SIDING.
 - C. DOWNSPOUTS TO BE CONNECTED TO DRAINAGE SYSTEM WITH DOWNSPOUT BOOTS. COORDINATE THE DOWNSPOUT DROPS WITH THE CIVIL CONTRACTOR.
 - D. EXTERIOR LIGHTS, GFIS, HVAC SUB PANELS, HOSE BIBS, TELEPHONE BOXES, AND CABLE BOXES MUST BE INSTALLED IN PLASTIC J-BOXES AT ALL VINYL SIDING LOCATIONS.
 - E. THE BUILDING IS TO BE IDENTIFIED USING CLEARLY VISIBLE SIGNAGE AND NUMBERS, AND IS TO BE WELL LIT FROM DUSK TIL DAWN.
 - F. REFER TO SHEET A9.10 FOR EXTERIOR DOOR COLORS.
 - G. ALL FIBER CEMENT TRIM AT VENTS AND LOUVERS TO BE PAINTED TO MATCH ADJACENT FIBER CEMENT.

- ELEVATION CODED NOTES
- 1. FINISH GRADE- SLOPE AWAY FROM BUILDING
 - 2. CONCRETE FOUNDATION - SEE STRUCTURAL
 - 3. BRICK VENEER
 - 4. BRICK ROWLOCK - COLOR: TO MATCH ADJACENT BODY COLOR
 - 5. BRICK HEADER - COLOR: TO MATCH ADJACENT BODY COLOR
 - 6. BRICK SILL - COLOR: TO MATCH ADJACENT BODY COLOR
 - 7. NO SOLICITING SIGNAGE - SEE DETAIL C/A1.40
 - 8. VINYL WINDOW UNIT
 - 9. FIBER CEMENT PANEL SIDING, FC-1
 - 10. FIBER CEMENT PANEL SIDING, FC-2
 - 11. FIBER CEMENT ACCENT PANEL, FC-3
 - 12. 4" FIBER CEMENT TRIM
 - 13. ENTRY CANOPY. REFER TO C/A4.32
 - 14. PRE-FINISHED METAL COPING TO MATCH ADJACENT MATERIALS
 - 15. FIBER CEMENT WRAPPED CORNICE
 - 16. SCUPPER AND CONDUCTOR HEAD. SEE SHEET A4.32
 - 17. 5" ALUMINUM DOWNSPOUT TIED INTO STORMWATER DRAINAGE SYSTEM
 - 18. ELECTRICAL METERS LOCATION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS
 - 19. 1/4" JOINT AT PANEL SIDING
 - 20. BUILDING ADDRESS SIGNAGE
 - 21. STAIR CANOPY. REFER TO F/A4.32
 - 22. BLADE SIGN, REFER TO 3/A3.12



side elevation B
1/8"=1'-0" A3.11



side elevation A
1/8"=1'-0" A3.11

STADIUM NORTH SENIOR LOFTS

LANSING, MI

EXTERIOR ELEVATIONS

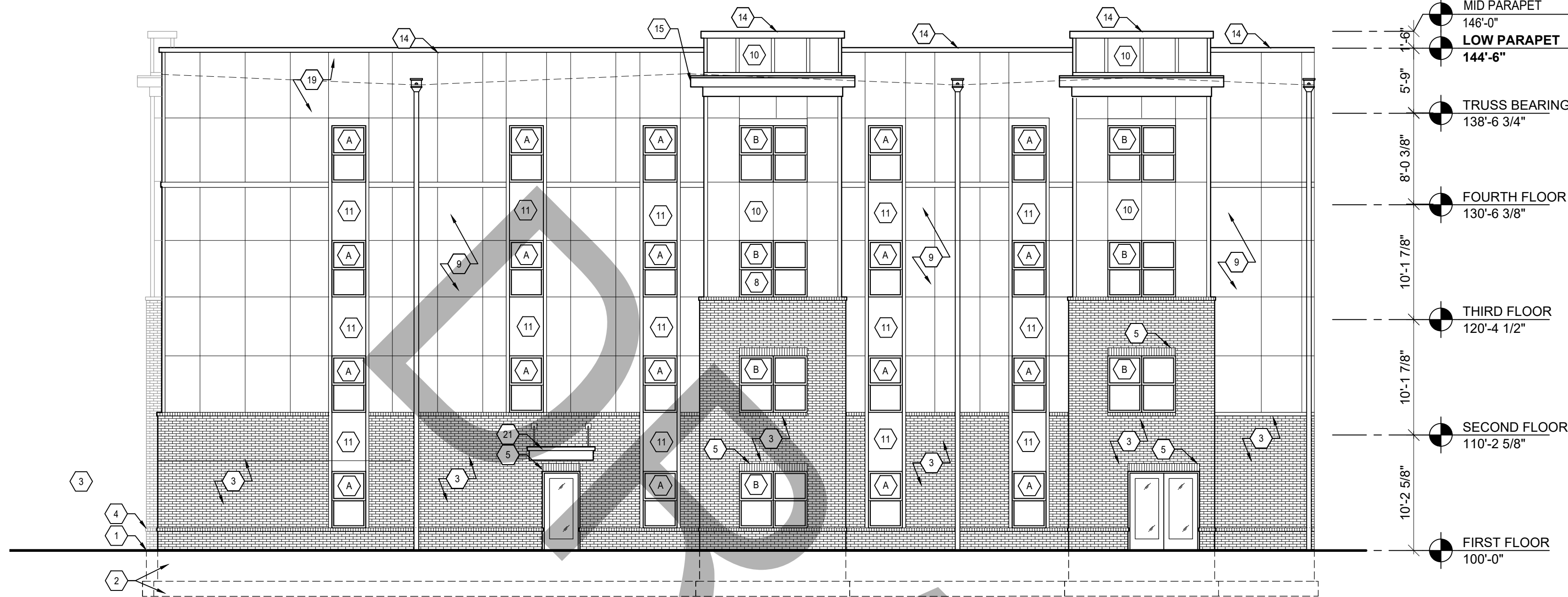
ISSUE DATE:
10-15-2021
JOB NUMBER:
BDCL21012
REVISIONS



EXTERIOR FINISH LEGEND	
	FACE BRICK VENEER (FB-1)
	FIBER CEMENT PANEL SIDING, (FC-1), LIFETIME WARRANTY. JAMES HARDIE FIBER CEMENT WITH 'H' JOINT. COLOR: COBBLE STONE
	FIBER CEMENT PANEL SIDING AT BUILDING PROJECTIONS, (FC-2), LIFETIME WARRANTY. JAMES HARDIE FIBER CEMENT WITH 'H' JOINT. COLOR: MOUNTAIN SAGE
	FIBER CEMENT ACCENT PANEL SIDING, (FC-3), LIFETIME WARRANTY. JAMES HARDIE FIBER CEMENT. COLOR: WOODSTOCK BROWN.
SHEET METAL FLASHING AND TRIM: ALL PRE-FINISHED METAL DOWNSPOUTS, FASCIAS, ETC., TO BE BY DIMENSIONAL METALS INC. NOTE: REFER TO SPECS FOR EQUAL MANUFACTURERS ACCEPTABLE FOR USE.	

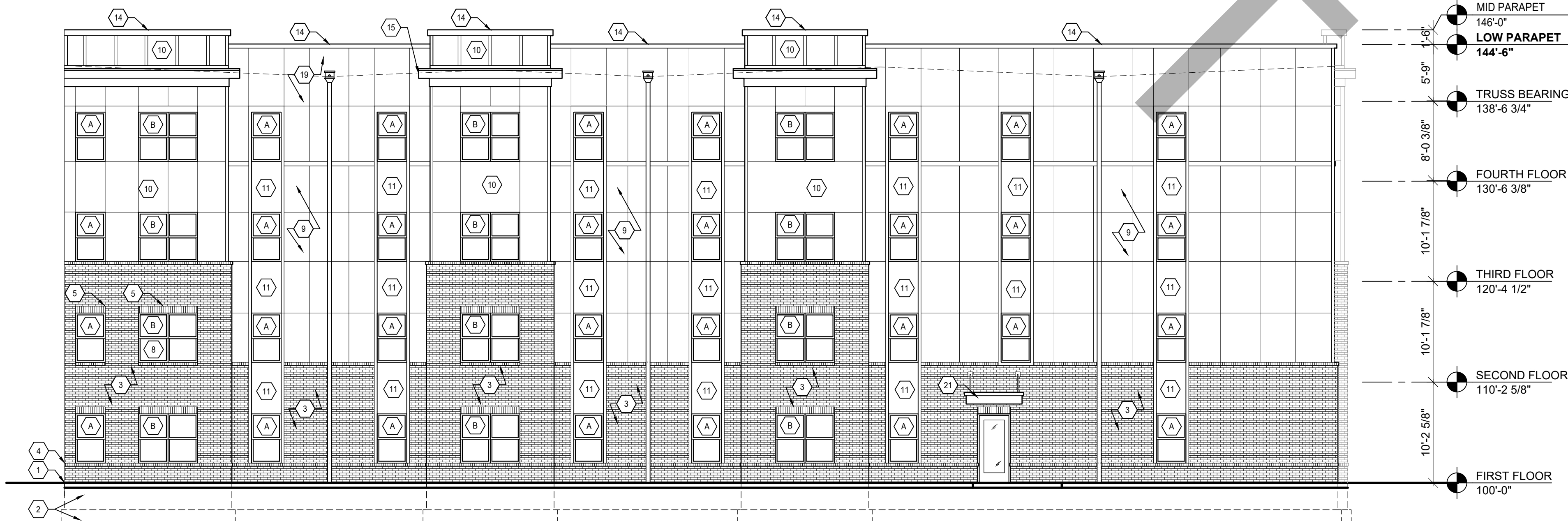
- GENERAL ELEVATION NOTES
- A. REFER TO WINDOW TYPE SCHEDULE ON SHEET A9.10 FOR WINDOWS TYPES NOTED WITH A LETTER DESIGNATION ON PLANS OR ELEVATIONS THUS: ○ INDICATES TEMPERED GLASS
 - B. COORDINATE THE DRYER, HOOD, AND TOILET EXHAUST VENTS WITH THE BRICK VENEER AND PANEL SIDING.
 - C. DOWNSPOUTS TO BE CONNECTED TO DRAINAGE SYSTEM WITH DOWNSPOUT BOOTS. COORDINATE THE DOWNSPOUT DROPS WITH THE CIVIL CONTRACTOR.
 - D. EXTERIOR LIGHTS, GFIS, HVAC SUB PANELS, HOSE BIBS, TELEPHONE BOXES, AND CABLE BOXES MUST BE INSTALLED IN PLASTIC J-BOXES AT ALL VINYL SIDING LOCATIONS.
 - E. THE BUILDING IS TO BE IDENTIFIED USING CLEARLY VISIBLE SIGNAGE AND NUMBERS, AND IS TO BE WELL LIT FROM DUSK TIL DAWN.
 - F. REFER TO SHEET A9.10 FOR EXTERIOR DOOR COLORS.
 - G. ALL FIBER CEMENT TRIM AT VENTS AND LOUVERS TO BE PAINTED TO MATCH ADJACENT FIBER CEMENT.

- ELEVATION CODED NOTES
- 1. FINISH GRADE- SLOPE AWAY FROM BUILDING
 - 2. CONCRETE FOUNDATION - SEE STRUCTURAL
 - 3. BRICK VENEER
 - 4. BRICK ROWLOCK - COLOR: TO MATCH ADJACENT BODY COLOR
 - 5. BRICK HEADER - COLOR: TO MATCH ADJACENT BODY COLOR
 - 6. BRICK SILL - COLOR: TO MATCH ADJACENT BODY COLOR
 - 7. NO SOLICITING SIGNAGE - SEE DETAIL C/A1.40
 - 8. VINYL WINDOW UNIT
 - 9. FIBER CEMENT PANEL SIDING, FC-1
 - 10. FIBER CEMENT PANEL SIDING, FC-2
 - 11. FIBER CEMENT ACCENT PANEL, FC-3
 - 12. 4" FIBER CEMENT TRIM
 - 13. ENTRY CANOPY. REFER TO C/A4.32
 - 14. PRE-FINISHED METAL COPING TO MATCH ADJACENT MATERIALS
 - 15. FIBER CEMENT WRAPPED CORNICE
 - 16. SCUPPER AND CONDUCTOR HEAD. SEE SHEET A4.32
 - 17. 5" ALUMINUM DOWNSPOUT TIED INTO STORMWATER DRAINAGE SYSTEM
 - 18. ELECTRICAL METERS LOCATION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS
 - 19. 'H' JOINT AT PANEL SIDING
 - 20. BUILDING ADDRESS SIGNAGE
 - 21. STAIR CANOPY. REFER TO F/A4.32
 - 22. BLADE SIGN, REFER TO 3/A3.12



inward elevation

1/8"=1'-0" B A3.12



inward elevation

1/8"=1'-0" A A3.11

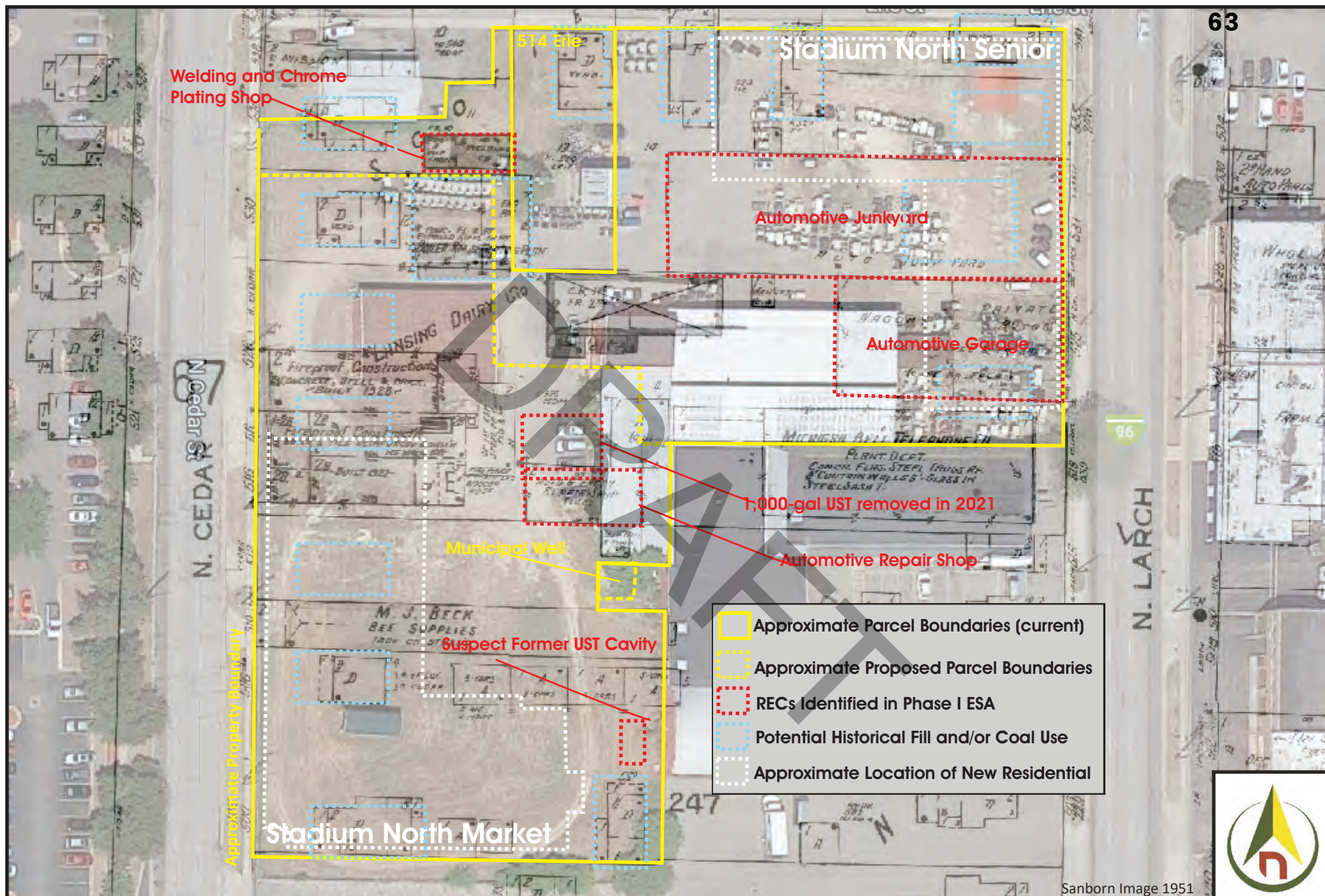
STADIUM NORTH SENIOR LOFTS

LANSING, MI

EXTERIOR ELEVATIONS

ISSUE DATE:
10-15-2021
JOB NUMBER:
BDCL21012
REVISIONS

A3.12



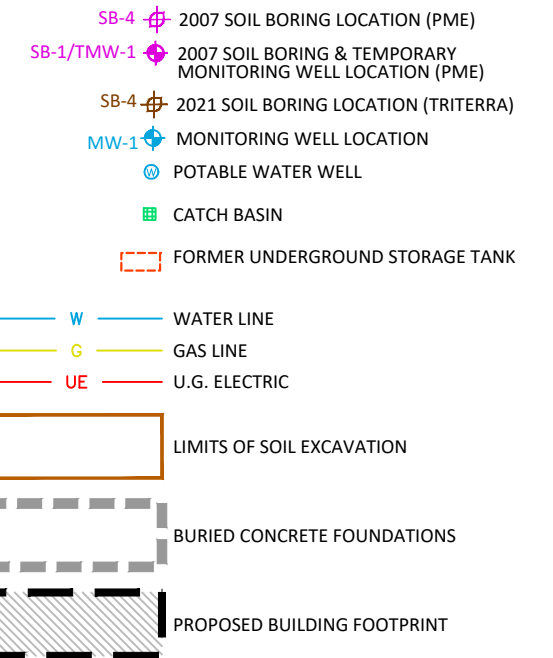
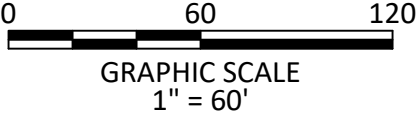
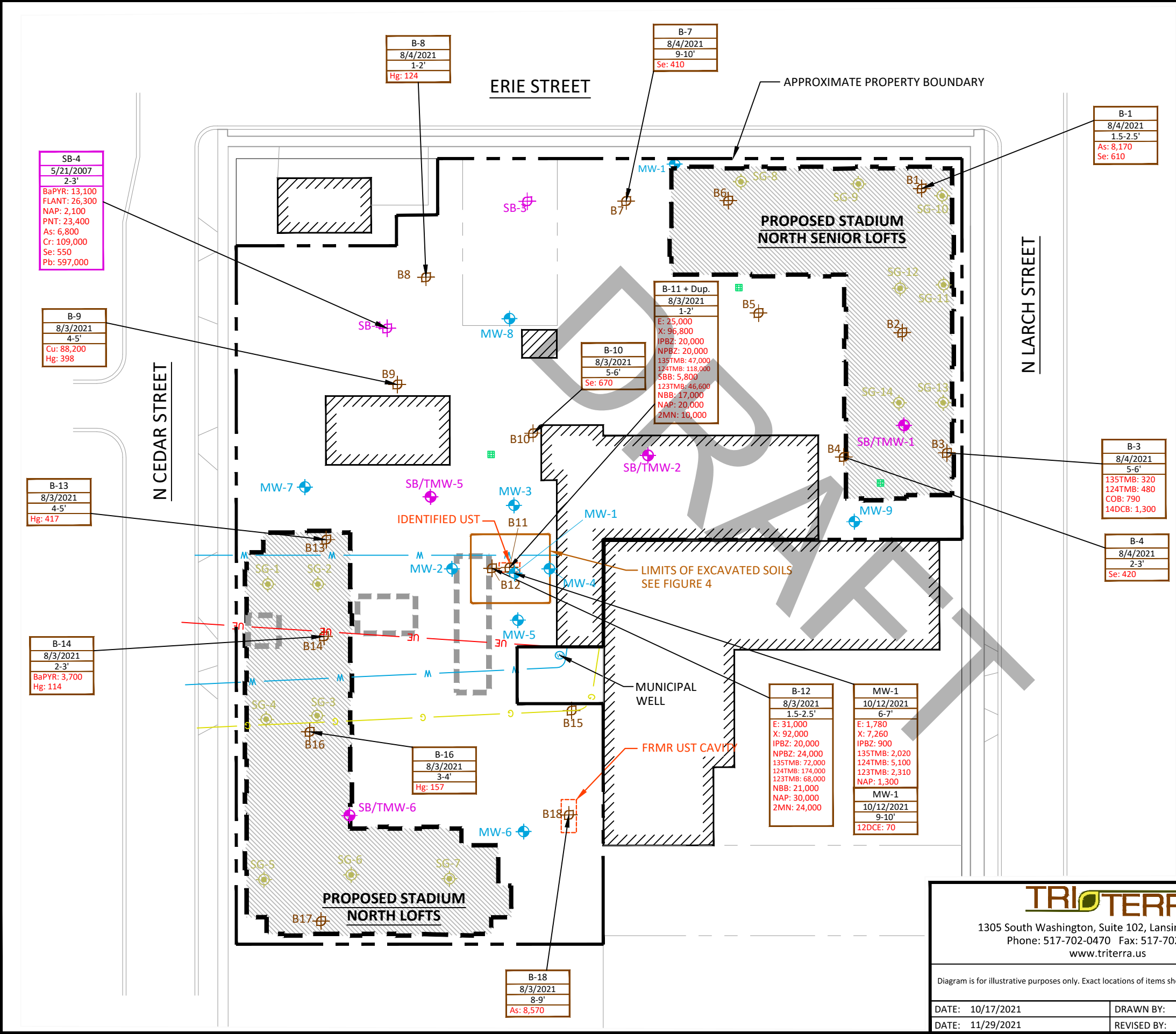


FIGURE 2



SYMBOLS LEGEND

- SB-4 2007 SOIL BORING LOCATION (PME)
- SB-1/TMW-1 2007 SOIL BORING & TEMPORARY MONITORING WELL LOCATION (PME)
- SB-4 2021 SOIL BORING LOCATION (TRITERRA)
- MW-1 MONITORING WELL LOCATION
- POTABLE WATER WELL
- CATCH BASIN
- FORMER UNDERGROUND STORAGE TANK

CONSTITUENTS LEGEND

VOLATILES (VOCs)

- 12DCB: 1,2-Dichlorobenzene
- 123TMB: 1,2,3-Trimethylbenzene
- 124TMB: 1,2,4-Trimethylbenzene
- 135TMB: 1,3,5-Trimethylbenzene
- 2MN: 2-Methylnaphthalene
- B: Benzene
- COB: Chlorobenzene
- E: Ethylbenzene
- IPBZ: Isopropylbenzene
- NBB: n-Butylbenzene
- NPBZ: n-Propylbenzene
- NPH: Naphthalene
- X: Total Xylenes

SEMIVOLATILES (PAHs)

- 2MN: 2-Methylnaphthalene
- BaPyr: Benzo(a)pyrene
- FLANT: Fluoranthene
- NPH: Naphthalene
- PNT: Phenanthrene

INORGANICS, METALS

- As: Arsenic
- Cd: Cadmium
- Cl: Chloride
- Cu: Copper
- Hg: Mercury, Total
- Pb: Lead, Total
- Se: Selenium

NOTES

- Soil concentrations are in µg per kg (ppb).
- All exceedances are highlighted in red.
- Figure includes analytical exceedances only. If no data is presented for a sample location then there were no exceedances above applicable criteria.
- See analytical data and tables for additional detail.



1305 South Washington, Suite 102, Lansing, MI 48910
Phone: 517-702-0470 Fax: 517-702-0477
www.triterra.us

Diagram is for illustrative purposes only. Exact locations of items shown on figure may vary slightly.

DATE: 10/17/2021

DRAWN BY: JWL

DATE: 11/29/2021

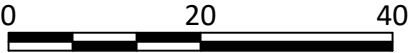
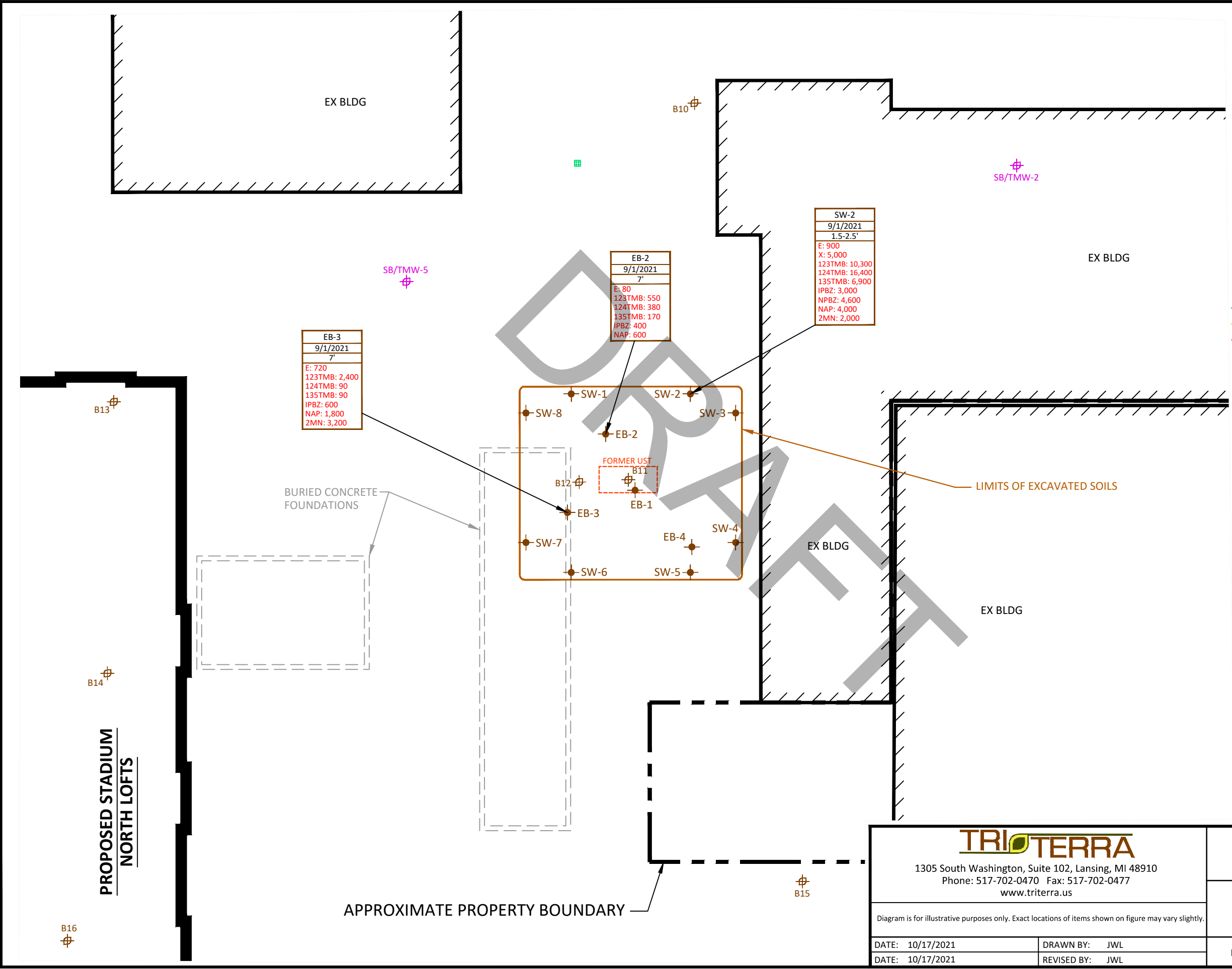
REVISED BY: JWL

SOIL BORING SAMPLE LOCATIONS WITH ANALYTICAL EXCEEDANCES

STADIUM NORTH LOFTS &
STADIUM NORTH SENIOR LOFTS
500 N. CEDAR STREET & 514 ERIE STREET
LANSING, MICHIGAN 48912

PROJECT NUMBER: 20-2340-13

FIGURE 3



GRAPHIC SCALE
1" = 20'

SYMBOLS LEGEND

- SB-4 2007 SOIL BORING LOCATION (PME)
- SB-4 2021 SOIL BORING LOCATION (TRITERRA)
- MW-1 MONITORING WELL LOCATION
- POTABLE WATER WELL
- CATCH BASIN
- W WATER LINE
- G GAS LINE
- UE U.G. ELECTRIC

CONSTITUENTS LEGEND

- VOLATILES (VOCs)**
- 123TMB: 1,2,3-Trimethylbenzene
 - 124TMB: 1,2,4-Trimethylbenzene
 - 135TMB: 1,3,5-Trimethylbenzene
 - 2MN: 2-Methylnaphthalene
 - B: Benzene
 - E: Ethylbenzene
 - IPBZ: Isopropylbenzene
 - NBB: n-Butylbenzene
 - NPBZ: n-Propylbenzene
 - NPH: Naphthalene

NOTES

- Soil concentrations are in µg per kg (ppb).
- All exceedances are highlighted in red.
- Figure includes analytical exceedances only. If no data is presented for a sample location then there were no exceedances above applicable criteria.
- See analytical data and tables for additional detail.



1305 South Washington, Suite 102, Lansing, MI 48910
Phone: 517-702-0470 Fax: 517-702-0477
www.triterra.us

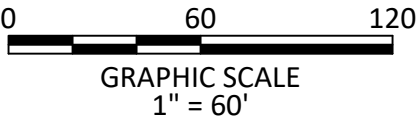
Diagram is for illustrative purposes only. Exact locations of items shown on figure may vary slightly.

DATE: 10/17/2021	DRAWN BY: JWL
DATE: 10/17/2021	REVISED BY: JWL

**SOIL EXCAVATION CONFIRMATION
SAMPLE LOCATIONS WITH
ANALYTICAL RESULTS**

STADIUM NORTH LOFTS &
STADIUM NORTH SENIOR LOFTS
500 N. CEDAR STREET & 514 ERIE STREET
LANSING, MICHIGAN 48912

PROJECT NUMBER: 20-2340-13 FIGURE 4



SYMBOLS LEGEND

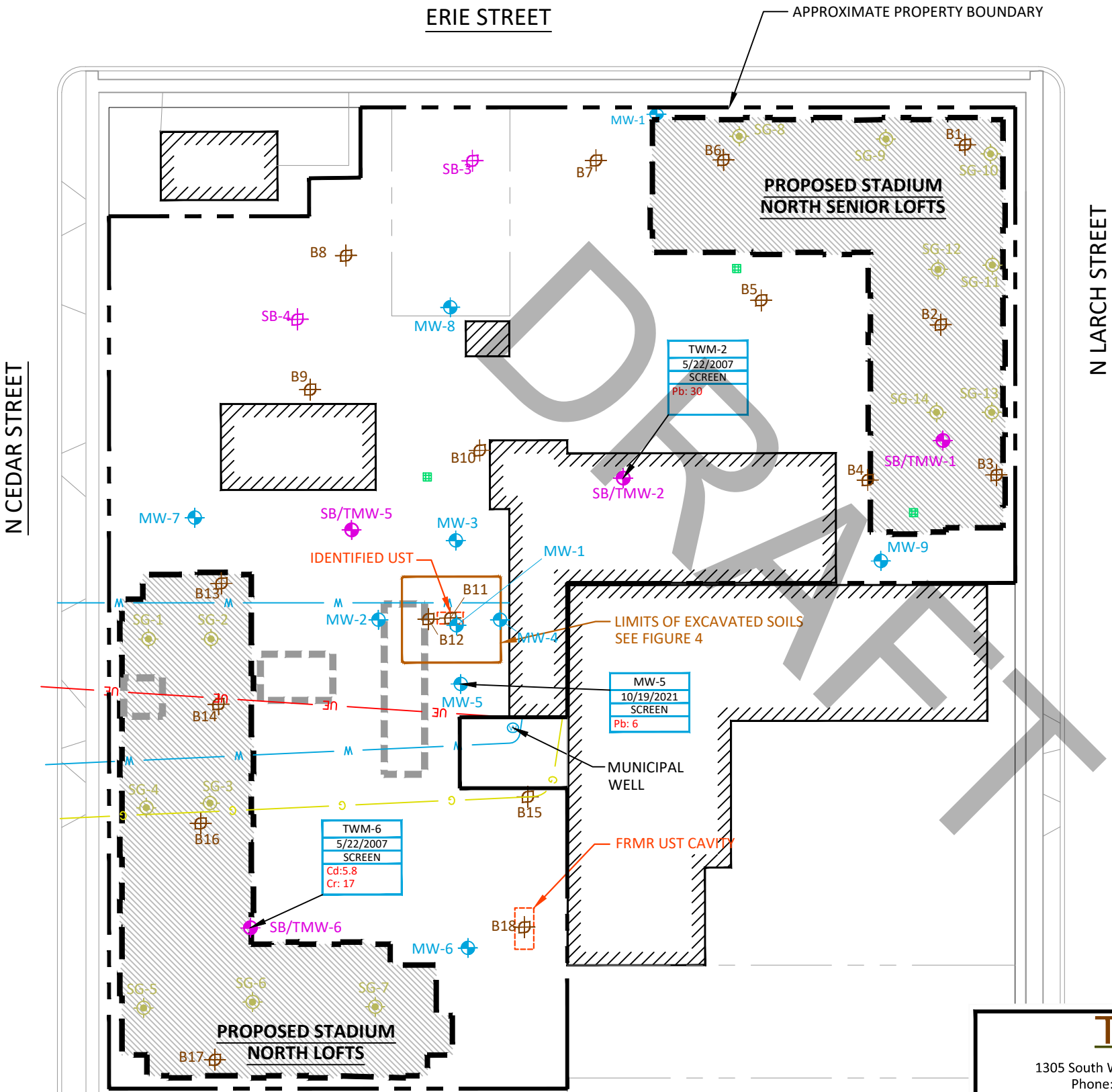
- SB-4 2007 SOIL BORING LOCATION (PME)
- SB-1/TMW-1 2007 SOIL BORING & TEMPORARY MONITORING WELL LOCATION (PME)
- SB-4 2021 SOIL BORING LOCATION (TRITERRA)
- MW-1 MONITORING WELL LOCATION
- POTABLE WATER WELL
- CATCH BASIN
- FORMER UNDERGROUND STORAGE TANK

CONSTITUENTS LEGEND

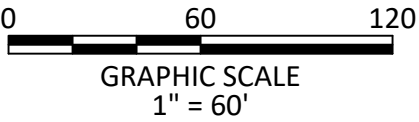
- VOLATILES (VOCs)**
- 12DCB: 1,2-Dichlorobenzene
 - 123TMB: 1,2,3-Trimethylbenzene
 - 124TMB: 1,2,4-Trimethylbenzene
 - 135TMB: 1,3,5-Trimethylbenzene
 - 2MN: 2-Methylnaphthalene
 - B: Benzene
 - COB: Chlorobenzene
 - E: Ethylbenzene
 - IPBZ: Isopropylbenzene
 - NBB: n-Butylbenzene
 - NPBZ: n-Propylbenzene
 - NPH: Naphthalene
 - X: Total Xylenes
- SEMIVOLATILES (PAHs)**
- 2MN: 2-Methylnaphthalene
 - BaPYR: Benzo(a)pyrene
 - FLANT: Fluoranthene
 - NPH: Naphthalene
 - PNT: Phenanthrene

- INORGANICS, METALS**
- As: Arsenic
 - Cd: Cadmium
 - Cl: Chloride
 - Cu: Copper
 - Hg: Mercury, Total
 - Pb: Lead, Total
 - Se: Selenium

- NOTES**
1. Soil concentrations are in µg per kg (ppb).
 2. All exceedances are highlighted in red.
 3. Figure includes analytical exceedances only. If no data is presented for a sample location then there were no exceedances above applicable criteria.
 4. See analytical data and tables for additional detail.



		GROUNDWATER SAMPLE LOCATIONS WITH ANALYTICAL EXCEEDANCES	
1305 South Washington, Suite 102, Lansing, MI 48910 Phone: 517-702-0470 Fax: 517-702-0477 www.triterra.us		STADIUM NORTH LOFTS & STADIUM NORTH SENIOR LOFTS 500 N. CEDAR STREET & 514 ERIE STREET LANSING, MICHIGAN 48912	
Diagram is for illustrative purposes only. Exact locations of items shown on figure may vary slightly.		PROJECT NUMBER:	20-2340-13
DATE: 10/17/2021	DRAWN BY: JWJ	FIGURE	5
DATE: 11/29/2021	REVISED BY: JWJ		



SYMBOLS LEGEND

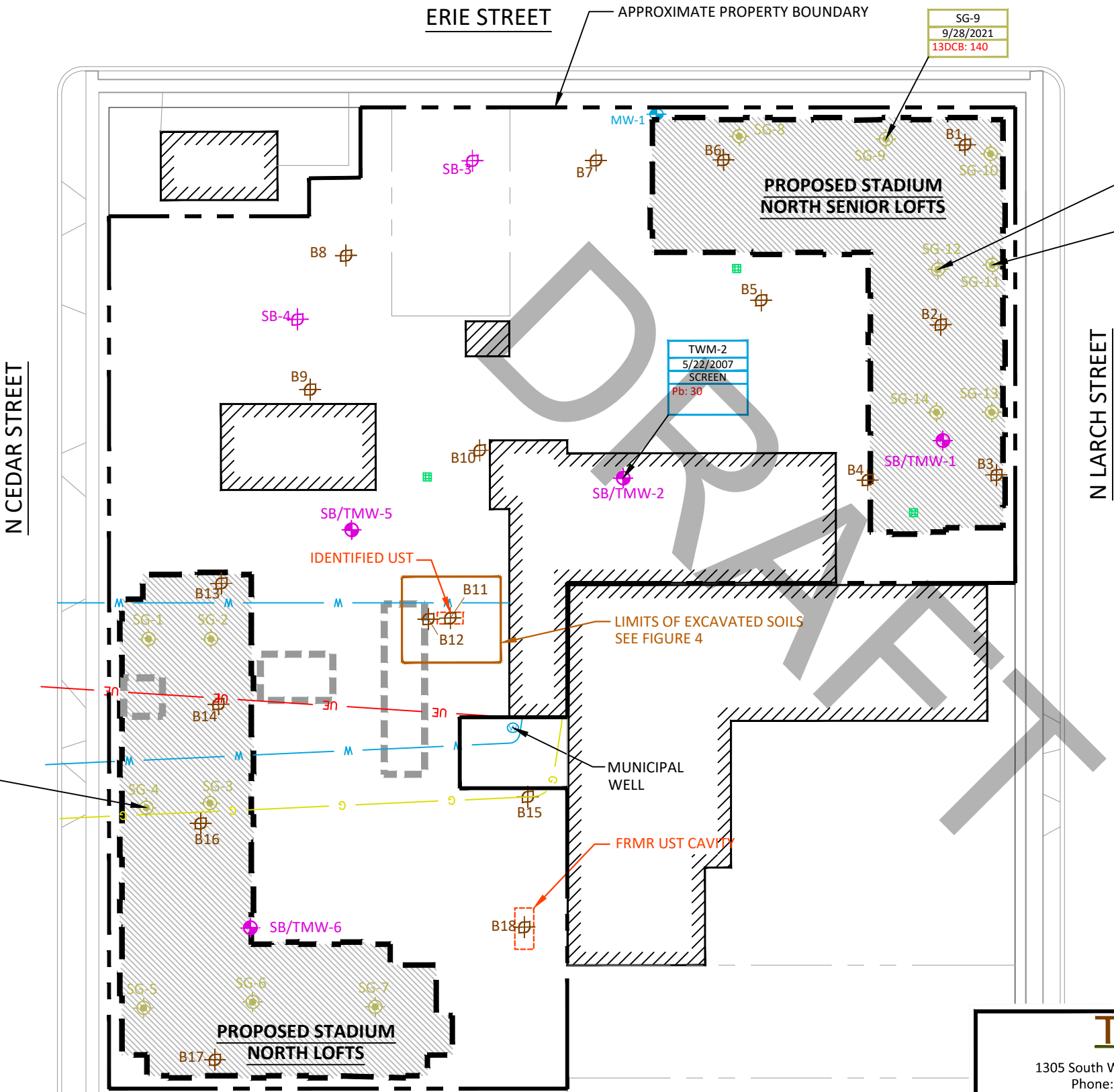
- SB-4 2007 SOIL BORING LOCATION (PME)
- SB-1/TMW-1 2007 SOIL BORING & TEMPORARY MONITORING WELL LOCATION (PME)
- SB-4 2021 SOIL BORING LOCATION (TRITERRA)
- MW-1 MONITORING WELL LOCATION
- POTABLE WATER WELL
- CATCH BASIN
- FORMER UNDERGROUND STORAGE TANK

CONSTITUENTS LEGEND

VOLATILES (VOCs)
13DCB: 1,3-Dichlorobenzene
NPH: Naphthalene

NOTES

- Soil concentrations are in $\mu\text{g per m}^3$ (ppb).
- All exceedances are highlighted in red.
- Figure includes analytical exceedances only. If no data is presented for a sample location then there were no exceedances above applicable criteria.
- See analytical data and tables for additional detail.



1305 South Washington, Suite 102, Lansing, MI 48910
Phone: 517-702-0470 Fax: 517-702-0477
www.triterra.us

Diagram is for illustrative purposes only. Exact locations of items shown on figure may vary slightly.

DATE: 10/17/2021	DRAWN BY: JWL
DATE: 10/17/2021	REVISED BY: JWL

SOIL GAS SAMPLE LOCATIONS WITH ANALYTICAL EXCEEDANCES

STADIUM NORTH LOFTS &
STADIUM NORTH SENIOR LOFTS
500 N. CEDAR STREET & 514 ERIE STREET
LANSING, MICHIGAN 48912

PROJECT NUMBER:	20-2340-13	FIGURE	6
-----------------	------------	--------	---

Project 20-2595 Photo Log
500 N. Cedar & 514 Erie, Lansing, MI
Photos by: MC 12/2/2020

TRIOTERRA



Photo 1: View of the Property and south-adjointing site from N. Cedar Street, facing east.



Photo 2: View of the Property from Erie Street, facing south.

Project 20-2595 Photo Log
500 N. Cedar & 514 Erie, Lansing, MI
Photos by: MC 12/2/2020

TRIOTERRA



Photo 3: View of the eastern portion of the Property from across Erie Street, facing southeast.



Photo 4: View of two above ground storage tanks located on the north side of the main service garage building.

Project 20-2595 Photo Log
500 N. Cedar & 514 Erie, Lansing, MI
Photos by: MC 12/2/2020

TRIOTERRA



Photo 5: View of the trench drain located within the main service garage.



Photo 6: View of waste oil and new oil storage within the main service garage.

Project 20-2595 Photo Log
500 N. Cedar & 514 Erie, Lansing, MI
Photos by: MC 12/2/2020

TRIOTERRA



Photo 7: View of a floor drain located within the main service garage.



Photo 8: View within the main service garage.

Project 20-2595 Photo Log
500 N. Cedar & 514 Erie, Lansing, MI
Photos by: MC 12/2/2020

TRIOTERRA



Photo 9: View of the garage building located in the northwest portion of the Property.



Photo 10: Interior view of dry storage located in the former dairy cooler building.

Project 20-2595 Photo Log
500 N. Cedar & 514 Erie, Lansing, MI
Photos by: MC 12/2/2020

TRIOTERRA



Photo 11: View of the north-adjointing site (Home Electronics – 538 N. Cedar Street, from Erie street, facing southwest.



Photo 12: View across N. Larch Street of the east-adjointing site (Kamins Auto Parts – 526 N. Larch Street) from the eastern portion of the Property.

Project 20-2595 Photo Log
500 N. Cedar & 514 Erie, Lansing, MI
Photos by: MC 12/2/2020



Photo 13: View of the south-adjointing site (southern portion of 500 N. Cedar Street) from the southern portion of the site, facing north.



Photo 14: View of the west-adjointing site (Riverfront Apartments – 501 & 601 N. Cedar Street) from Erie Street, facing west.



2022 REGULAR BOARD OF DIRECTORS MEETING SCHEDULE

Lansing Economic Development Corporation (LED C)
Lansing Brownfield Redevelopment Authority (LBRA)
Tax Increment Finance Authority (TIFA)

Time and Location*: Lansing Economic Area Partnership (LEAP) Boardroom
1000 S Washington Avenue, Suite #201
Lansing, Michigan 48910
8:30 AM

Friday, January 14, 2022 **

Friday, February 4, 2022

Friday, March 4, 2022 ***

Friday, April 8, 2022

Friday, May 6, 2022

Friday, June 3, 2022

Friday, July 8, 2022

Friday, August 5, 2022

Friday, September 9, 2022***

Friday, October 7, 2022

Friday, November 4, 2022

Friday, December 2, 2022

THE CITY OF LANSING 2022

FACADE IMPROVEMENT PROGRAM

**IMPROVING THE AESTHETICS OF
BUSINESSES ON COMMERCIAL CORRIDORS**

Up to 50% reimbursement match
for certain eligible improvements.
Maximum award: \$20,000

**APPLICATION OPEN JANUARY 3, 2022,
THROUGH MARCH 1, 2022.**

*Only approved work is eligible for reimbursement and improvements started or made prior to an award are not eligible.

**Apply and view eligible
improvements at:**

**[www.purelansing.com/
facadeprogram](http://www.purelansing.com/facadeprogram)**

or scan the QR code.



Andy Schor, Mayor