

Regular Meeting Of Lansing City Council

**Tony Benavides Lansing City Council Chambers
David C. Hollister Lansing City Hall
124 W. Michigan Avenue, 10th Floor
Lansing, Michigan**



Agenda for August 10, 2026 at 7:00 PM

TO THE HON. MAYOR AND MEMBERS OF THE CITY COUNCIL:

The following items were listed on the agenda in the City Clerk's Office in accordance with Section 3-103(2) of the City Charter and will be ready for your consideration at the regular meeting of the City Council at the Tony Benavides Lansing City Council Chambers, 10th Floor, City Hall.

Roll Call

Meditation and Pledge of Allegiance

Approval of Printed Council Proceedings

1. July 27, 2026

Consideration of Late Items (Suspension of Council Rule #9 is needed to allow consideration of late items. Late items will be considered as part of the regular portion of the meeting to which they relate.)

Tabled Items

Special Ceremonies and Presentations

2. Appointment; Kalman Mate as the 4th Ward member of the Human Relations and Community Services Advisory Board for a term to expire June 30, 2028 (PEND-4538)
3. Brownfield Plan #91; 6420 S. Cedar Street Project, 6420 S. Cedar St. (PEND-4517)
4. Obsolete Property Rehabilitation Act (OPRA) Certificate; 2231 W. Willow St., AM Land Holdings LLC (PEND-4531)
5. Ballot Proposal; City Charter Amendment; creation of Citizens' Advisory Healthcare Action Board (PEND-4557)

Comments by Council Members and the City Clerk

Community Event Announcements (Time, place, purpose, or definition of event – 1 minute limit)

Speaker Registration for Public Comment on Legislative Matters

Speakers at the meeting must sign up on BLUE form by the deadline announced by the City Clerk.

Virtual Participation is available for Public Comment on Legislative Matters. Sign up by 6:30 p.m. using the following link: <https://events.gcc.teams.microsoft.com/event/a841315d-8da3-4ad2-b10e-95dd4deef1f9@87509dee-095b-4ff8-ba5a-0035cdfc715d>

Mayor's Comments

Show Cause Hearings

Public Comment on Legislative Matters (Legislative matters consist of the following items on the agenda: public hearings, resolutions, ordinances for introduction, and ordinances for passage. The public may comment for up to three minutes. Speakers must sign up on BLUE form.)

Scheduled Public Hearings

6. Brownfield Plan #91; 6420 S. Cedar Street Project, 6420 S. Cedar St. (PEND-4517)
7. Obsolete Property Rehabilitation Act (OPRA) Certificate; 2231 W. Willow St., AM Land Holdings LLC (PEND-4531)
8. Noise Special Permit; Hoffman Bros. Inc., to allow for Combined Sewer Overflow (CSO) Ottawa Street Project (PEND-4529)
9. Noise Special Permit; Leavitt and Starck Excavating, Inc., to allow for Combined Sewer Overflow (CSO) 015 South Project (PEND-4533)

Council Consideration of Legislative Matters

Referral of Public Hearings

Consent Agenda

10. Appointment; Kalman Mate as the 4th Ward member of the Human Relations and Community Services Advisory Board for a term to expire June 30, 2028 (PEND-4538)
11. Setting a Show Cause Hearing on Orders to Make Safe or Demolish to the owners of 920 Long Blvd. (PEND-4541)
12. Orders to Make Safe or Demolish to the owners of 431 S. Francis Ave. (PEND-4512)
13. Orders to Make Safe or Demolish to the owners of 1217 N. Grand River Ave. (PEND-4502)
14. Orders to Make Safe or Demolish to the owners of 4507 Devonshire Ave. (PEND-4471)
15. Ballot Proposal; City Charter Amendment; creation of Citizens' Advisory Healthcare Action Board (PEND-4557)

Resolutions for Action

16. Fireworks Display License; Pyrotecnico Inc. at Frances Park for August 22, 2026 (PEND-4554)
17. Noise Special Permit; Hoffman Bros. Inc., to allow for Combined Sewer Overflow (CSO) Ottawa Street Project (PEND-4529)

Reports from Council Committees

Ordinances for Introduction and Setting of Public Hearings

Ordinances for Passage

18. Amending Chapter 247; transition of Boards and Commissions to the ward structure provided for by the current City Charter (PEND-4504)

19. Amending Chapter 248; transition of Board of Water and Light members to the ward structure provided for by the current City Charter (PEND-4506)
20. Amending Chapter 266; provide for an eight-member Arts and Culture Commission in accordance with the City Charter (PEND-4508)

Speaker Registration For Public Comment On City Government Related Matters

Reports Of City Officers, Boards, And Commissions; Communications And Petitions; And Other City Related Matters

(Motion that all items be considered as being read in full and that the proper referrals be made by the President)

Item(s) from the City Clerk re:

21. Minutes of Boards and Commissions placed on file in the Clerk's Office
22. Ballot Proposal; City Charter Amendment; creation of Citizens' Advisory Healthcare Action Board (PEND-4557)
23. Fireworks Display License; Pyrotecnico Inc. at Frances Park on August 22, 2026 (PEND-4554)

Item(s) from the Mayor re:

24. Obsolete Property Rehabilitation Act (OPRA) Certificate; 418 Baker St. Ron Holdings LLC (PEND-4556)
25. Setting a Public Hearing on Obsolete Property Rehabilitation Act (OPRA) Certificate; 418 Baker St., Ron Holdings LLC (PEND-4558)
26. Act-5-2026; Use of Right-of-Way and Use of Air Rights, 200 block S. Grand Ave., New Vision Lansing LLC for the Grand Tower Building (PEND-4559)
27. Reappointment; Jerrod LaRue as the 2nd Ward member of the Board of Fire Commissioners for a term to expire June 30, 2030 (PEND-4560)

Communications and Petitions

Motion Of Excused Absence

Remarks By Council Members

Remarks by the Mayor or Executive Assistant

Public Comment on City Government Related Matters (City government related matters are issues or topics relevant to the operation or governance of the city. The public may comment for up to three minutes. Speakers must sign up on YELLOW form.)

Adjournment



Chris Swope, City Clerk

Persons with disabilities who need an accommodation to fully participate in this meeting should contact the City Clerk's Office at (517) 483-4131 (TTY 711). 24 hour notice may be needed for certain accommodations. An attempt will be made to grant all reasonable accommodation request.



**Official Proceedings of the City Council
City of Lansing
July 27, 2026**

Tony Benavides Lansing City Council Chambers
Lansing, Michigan

The City Council of the City of Lansing met in regular session and was called to order at 7:45 p.m. by President Spadafore.

PRESENT: Council Members Carter, Garza, Hussain, Kost, Martinez, Nevarez Martinez, Pehlivanoglu, Spadafore

ABSENT: None

A quorum was present.

Council Member Kost asked people to remember Steve Richard, who recently passed away, during the moment of Meditation. The Council observed a moment of Meditation followed by the Pledge of Allegiance led by President Spadafore.

Approval of Printed Council Proceedings

By Vice President Pehlivanoglu

To approve the printed Council Proceedings of July 13, 2026

Motion Carried

Special Ceremonies

Appointment; Jonah Stone as the 1st Ward member of the Arts and Culture Commission for a term to expire June 30, 2030

Resolution #2026-199

By the Committee on Development & Planning
Resolved by the City Council of the City of Lansing

WHEREAS, the Mayor has recommended the appointment of Jonah Stone as the 1st Ward member of the Arts and Culture Commission for a term to expire June 30, 2030; and

WHEREAS, the Mayor's office has confirmed with this resolution, that they have vetted the applicant based on the original application and believes that the applicant meets the qualifications as required by the City Charter; and

WHEREAS, the Committee on Development & Planning met on July 20, 2026, and took affirmative action.

NOW, THEREFORE, BE IT RESOLVED that the Lansing City Council, hereby, confirms the appointment of Jonah Stone as the 1st Ward member of the Arts and Culture Commission for a term to expire June 30, 2030.

By Council Member Garza

Motion Carried

City Clerk Swope administered the Oath of Office to Jonah Stone as a member of the Arts and Culture Commission

Appointment; Tyson Pumphrey as a Business Representative of the Downtown Lansing, Inc. Board for a term to expire June 30, 2030

Resolution #2026-200

By the Committee on Development & Planning
Resolved by the City Council of the City of Lansing

WHEREAS, the Mayor has recommended the appointment of Tyson Pumphrey as a Business Representative of the Downtown Lansing, Inc. Board for a term to expire June 30, 2030; and

WHEREAS, the Mayor's office has confirmed with this resolution, that they have vetted the applicant based on the original application and believes that the applicant meets the qualifications as required by the City Charter; and

WHEREAS, the Committee on Development & Planning met on July 20, 2026, and took affirmative action.

NOW, THEREFORE, BE IT RESOLVED that the Lansing City Council, hereby, confirms the appointment of Tyson Pumphrey as a Business Representative of the Downtown Lansing, Inc. Board for a term to expire June 30, 2030.

City Clerk Swope administered the Oath of Office to Tyson Pumphrey as a member of the Downtown Lansing, Inc. Board

Appointment; Colleen Cole as a member of the Lansing Public Media Authority Board of Commissioners for a term to expire June 30, 2029

Resolution #2026-201

By the Committee on City Operations
Resolved by the City Council of the City of Lansing

WHEREAS, the Mayor has recommended the appointment of Coleen Cole as a member of the Lansing Public Media Authority for a term to expire June 30, 2029; and

WHEREAS, the Mayor's office has confirmed with this resolution, that they have vetted the applicant based on the original application and believes that the applicant meets the qualifications as required by the City Charter ; and

WHEREAS, the Committee on City Operations met on July 23, 2026, and took affirmative action.

NOW, THEREFORE, BE IT RESOLVED that the Lansing City Council, hereby, confirms the appointment of Coleen Cole as a member of the Lansing Public Media Authority for a term to expire June 30, 2029

By Vice President Pehlivanoglu

Motion Carried

City Clerk Swope administered the Oath of Office to Colleen Cole as a member of the Lansing Public Media Authority Board of Commissioners.

Comments by Council Members and the City Clerk

Council Member Kost discussed the schedule of upcoming 1st Ward Constituent Contact Meetings and wished his father a happy birthday.

Vice President Pehlivanoglu wished her husband a happy 13th wedding anniversary.

Council Member Hussain discussed the Pleasant Grove and Holmes Project and other local projects, thanked Ryan Holmes for designing a mural , announced the Lansing Parks and Rec Play Patrol program, and the Churchill Downs upcoming Youth Day.

Council Member Martinez discussed the new Willow School grand opening.

President Spadafore announced an informational meeting about the Lansing Shuffle land sale ballot proposal, and the upcoming farmers market at the Capitol.

Clerk Swope spoke about the upcoming partisan primary election.

Community Event Announcements

Loretta Stanaway announced the Friends of Lansing's Historic Cemeteries tombstone cleaning workshop.

Nicklas Zande spoke about the Old Everett Neighborhood Association Annual Picnic.

Speaker Registration for Public Comment on Legislative Matters

City Clerk Swope announced the deadline for submission of public comment registration forms for those intending to address the City Council on legislative matters and that only those who have submitted a completed form will be permitted to speak.

Mayor's Comments

Deputy Mayor Mumby spoke about a recent grant awarded to The City of Lansing and announced the deadline for applications for Citizens Academy.

Show Cause Hearings

Orders to Make Safe or Demolish to the owners of 431 S. Francis Ave.

Orders to Make Safe or Demolish to the owners of 1217 N. Grand River Ave.

Council Member Hussain an overview of the Show Cause Hearings

Referral of Show Cause Hearings

Orders to Make Safe or Demolish to the owners of 431 S. Francis Ave.
Referred to the Committee on Public Safety

Orders to Make Safe or Demolish to the owners of 1217 N. Grand River Ave.
Referred to the Committee on Public Safety

Public Comment on Legislative Matters

Legislative Matters included the following public hearings:

Amending Chapter 247; transition of Boards and Commissions to the ward structure provided for by the current City Charter

Amending Chapter 248; transition of Board of Water and Light members to the ward structure provided for by the current City Charter

Amending Chapter 266; provide for an eight-member Arts and Culture Commission in accordance with the City Charter

Council Member Pehlivanoglu gave an overview of the public hearings.

Public Comment on Legislative Matters:

Mike Smalligan spoke about the Board of Water and Light Board of Commissioners Appointment process.

Ryan Brand spoke in favor of the 4% PILOT ordinance.

Katlynn Kretz spoke in favor of the 4% PILOT ordinance.

Jody Washington spoke against the 4% PILOT ordinance.

Loretta Stanaway spoke against the 4% PILOT ordinance.

Legislative Matters

Referral of Public Hearings

Amending Chapter 247; transition of Boards and Commissions to the ward structure provided for by the current City Charter
Referred to the Committee of the Whole

Amending Chapter 248; transition of Board of Water and Light members to the ward structure provided for by the current City Charter
Referred to the Committee of the Whole

Amending Chapter 266; provide for an eight-member Arts and Culture Commission in accordance with the City Charter
Referred to the Committee of the Whole

Consent Agenda

By Vice President Pehlivanoglu to approve all items on the Consent Agenda.

Motion Carried

Resolution #2026-202

By the Committee on City Operations
Resolved by the City Council of the City of Lansing

WHEREAS, DAP Services and Resource Center has requested a resolution of recognition as a Local Nonprofit Organization operating in the City of Lansing for the purpose of obtaining a charitable gaming license pursuant to MCL 432.103a; and

WHEREAS, the City Attorney has reported that, based on a review of the documentation submitted, the applicant qualifies as a Local Nonprofit Organization.

NOW, THEREFORE, BE IT RESOLVED that the Lansing City Council, hereby, recognizes DAP Services and Resource Center as a Local Nonprofit Organization operating in the City of Lansing for the purpose of obtaining a charitable gaming license.

BE IT FURTHER RESOLVED the City Clerk is requested to provide a copy of this resolution to the DAP Services and Resource Center of 405 W. Greenlawn Ave, Suite 300.

Adopted as part of the Consent Agenda

Resolution #2026-203

By the Committee on Development & Planning
Resolved by the City Council of the City of Lansing

WHEREAS, the Mayor has recommended the reappointment of Katie Alexander as an At-Large member of the Planning Commission for a term to expire June 30, 2030; and

WHEREAS, the Mayor's office has confirmed with this resolution, that they have vetted the applicant based on the original application and believes that the applicant meets the qualifications as required by the City Charter; and

WHEREAS, the Committee on Development & Planning met on July 20, 2026, and took affirmative action.

NOW, THEREFORE, BE IT RESOLVED that the Lansing City Council, hereby, confirms the reappointment of Katie Alexander as an At-Large member of the Planning Commission for a term to expire June 30, 2030

Adopted as part of the Consent Agenda

Resolution #2026-204

By the Committee on Ways and Means
Resolved by the City Council of the City of Lansing

WHEREAS, the City of Lansing Public Service Department (the City) was awarded Reconnecting Communities Program (RCP) grant funding by the United States Department of Transportation for the development of solutions to reconnect residential areas separated by the construction of I-496; and

WHEREAS, the City submitted a proposal to the United States Department of Transportation in September of 2024; and

WHEREAS, the United States Department of Transportation Grant was the result of a competitive proposal process, and the City was notified that it was awarded grant funding in October of 2025; and

WHEREAS, the Safe Streets for All grant is funded through the Infrastructure Investment and Jobs Act (IIJA); and

WHEREAS, the United States Department of Transportation awarded the City \$1,040,000 in federal funding with a required local match amount of \$260,000 for a total project amount of \$1.3 million; and

WHEREAS, the required local match will come from Act 51 Major Street funds; and

WHEREAS, project must be completed by March 2029; and

WHEREAS, The City may request reimbursement of costs incurred in the performance of the project after execution of the grant agreement and subject to the terms and conditions of the agreement; and

NOW, THEREFORE, BE IT RESOLVED, that the Lansing City Council approves acceptance of the Reconnecting Communities Program grant.

BE IT FINALLY RESOLVED, the Administration is authorized to receive the funds, create the necessary accounts, make necessary transfers for administration of the grant in accordance with the requirements of the grantor, and enter into any agreements necessary to accept the grant, subject to approval as to form by the City Attorney.

Adopted as part of the Consent Agenda

Resolutions**Resolution #2026-205**

By the Committee on City Operations
Resolved by the City Council of the City of Lansing

WHEREAS, the City of Lansing Department of Public Service and the Lansing Board of Water & Light are partnering to construct the utility and infrastructure improvements associated with the Combined Sewer Overflow (CSO) Ottawa Street Project, a project located on W Ottawa Street from N Capitol Avenue to N Washington Square; and

WHEREAS, the construction, which includes coordination with the Michigan House of Representatives' heated sidewalk installation project, is required to be complete prior to Silver Bells in the City; and

WHEREAS, for the period of August 29, 2026, through November 14, 2026 the construction contractor, Hoffman Bros. Inc., has requested a waiver of the noise ordinance on Saturdays from 8:00 AM to 4:30 PM; and

WHEREAS, the City of Lansing Public Service Department recommends that the contractor be granted the requested noise waiver in order to:

- Ensure that the project is completed prior to Silver Bells in the City
- allow the contractor to have the ability to work some Saturdays when necessary for completion of important work activities; and
- keep the project on-schedule based on rain days.

NOW THEREFORE BE IT RESOLVED that a public hearing be held on Monday, August 10, 2026, at 7:00 PM in the City of Lansing Council Chambers, 124 W. Michigan Ave., in consideration of the request for granting a waiver of the noise ordinance to Hoffman Bros. Inc., while the company is conducting work as part of the CSO Ottawa Street Project on Saturdays from 8:00 AM to 4:30 PM for the period of August 29, 2026, through November 14, 2026.

By Council Member Pehlivanoglu

Motion Carried

Resolution #2026-206

By the Committee on City Operations
Resolved by the City Council of the City of Lansing

WHEREAS, the City of Lansing Department of Public Service and the Lansing Board of Water & Light are partnering to construct the utility and infrastructure improvements associated with the Combined Sewer Overflow (CSO) 015South Project, the remainder of the project area generally bounded by W Shiawassee Street on the northside, N Jenison Avenue on the eastside, W Michigan Avenue on the southside, and Verlinden St. on the westside; and

WHEREAS, timely completion of this project is specifically required by Administrative Consent Order #ACO-05153, entered Dec. 19, 2019; and

WHEREAS, the large amount of construction required for the remainder of this project will encompass all of the 2026 construction season; and

WHEREAS, in order to complete the project within the 2026 construction season, additional workdays will be required; and

WHEREAS, for the periods August 29, 2026, through October 31, 2026, the construction contractor, Leavitt and Starck Excavating, Inc., has requested a waiver of the noise ordinance on Saturdays from 8:00 AM to 4:30 PM; and

WHEREAS, the City of Lansing Public Service Department recommends that the contractor be granted the requested noise waiver in order to:

- reduce the amount of time local access for property owners is impacted;
- allow the contractor to have the ability to work some Saturdays when necessary for completion of important work activities; and
- keep the project on-schedule based on rain days.

NOW THEREFORE BE IT RESOLVED that a public hearing be held on Monday, August 10, 2026, at 7:00 PM in the City of Lansing Council Chambers, 124 W. Michigan Ave., in consideration of the request for granting a waiver of the noise ordinance to Leavitt and Starck Excavating, Inc., while the company is conducting work as part of the CSO 015South Project on Saturdays from 8:00 AM to 4:30 PM for the periods August 29, 2026, through October 31, 2026.

By Council Member Pehlivanoglu

Motion Carried

Resolution #2026-207

By the Committee on City Operations
Resolved by the City Council of the City of Lansing

CONFIRMATION OF SNOW AND ICE REMOVAL ASSESSMENT ROLL WINTER 2025-2026

WHEREAS, pursuant to resolution 2026-149, adopted by this Council, the City Council held a public hearing on June 8, 2026, regarding Assessment Roll #SR-2026, for the removal of snow and ice on public sidewalks adjacent to certain properties; and

WHEREAS, the cost incurred between December 1, 2025 and March 31, 2026, by the City totals \$62,034.00; and

WHEREAS, the Committee on City Operations met on June 11, 2026, June 25, 2026, July 9, 2026, and July 23, 2026, to review the written appeals and public hearing findings, and removed several properties, and amended three (3) from the assessment roll.

NOW, THEREFORE, BE IT RESOLVED, the Lansing City Council hereby directs that special assessment roll number #SR-2026 as returned by the City Assessor, be ratified and confirmed.

BE IT FINALLY RESOLVED, the Lansing City Council hereby directs the City Assessor notify the owners of properties affected by this roll in accordance with City Ordinance 1020.06.

<u>PARCEL ID</u>	<u>SITE ADDRESS</u>	<u>DATE OF SERVICE</u>	<u>SERVICE TIME</u>	<u>COST</u>
33010510301034	S CEDAR ST	02/02/2026	E: 81-100 MIN	\$429.00
33010509401004	172 E EDGEWOOD BLVD	01/30/2026	E: 81-100 MIN	\$429.00
33010509401004	172 E EDGEWOOD BLVD	02/10/2026	B: 21-40 MIN	\$219.00
33010509128131	117 W MILLER RD	01/30/2026	B: 21-40 MIN	\$219.00
33010134109151	843 MAPLEHILL AVE	12/15/2025	F: 101-120 MIN	\$499.00

33010133229131	642 VERNON AVE	12/18/2025	F: 101-120 MIN	\$499.00
33010505431321	820 W MILLER RD	12/18/2025	F: 101-120 MIN	\$499.00
33010509201001	109 W MILLER RD	01/30/2026	B: 21-40 MIN	\$219.00
33010509201181	101 W MILLER RD	01/30/2026	A: 0-20 MIN	\$149.00
33010134108011	3713 PARKWAY DR	12/16/2025	C: 41-60 MIN	\$289.00
33010505431331	800 W MILLER RD	12/18/2025	F: 101-120 MIN	\$499.00
33010505306091	5950 S M L KING JR BLVD	12/18/2025	F: 101-120 MIN	\$499.00
33010509401012	134 E EDGEWOOD BLVD	01/30/2026	D: 61-80 MIN	\$359.00
33010134105171	3526 HOMEWOOD AVE	12/16/2025	C: 41-60 MIN	\$289.00
33010135178081	2518 SOLOMON DR	02/09/2026	B: 21-40 MIN	\$219.00
33010133378131	4811 ORA ST	12/18/2025	F: 101-120 MIN	\$499.00
33010134105061	3603 PARKWAY DR	12/16/2025	D: 61-80 MIN	\$359.00
33010134103021	714 VERNON AVE	12/16/2025	F: 101-120 MIN	\$499.00
33010134105091	809 IRVINGTON AVE	12/17/2025	D: 61-80 MIN	\$359.00
33010134104001	702 GLENDALE AVE	12/17/2025	F: 101-120 MIN	\$499.00
33010133284111	647 JESSOP AVE	12/03/2025	C: 41-60 MIN	\$289.00
33010133284111	647 JESSOP AVE	02/16/2026	A: 0-20 MIN	\$149.00
33010133284061	625 JESSOP AVE	12/03/2025	B: 21-40 MIN	\$219.00
33010133283011	4113 S CEDAR ST	12/03/2025	E: 81-100 MIN	\$429.00
33010133283121	4100 WILDWOOD AVE	12/04/2025	C: 41-60 MIN	\$289.00
33010133283121	4100 WILDWOOD AVE	12/05/2025	F: 101-120 MIN	\$499.00
33010133284001	600 FENTON AVE	01/29/2026	A: 0-20 MIN	\$149.00
33010133227121	653 VERNON AVE	12/18/2025	F: 101-120 MIN	\$499.00
33010132177121	1607 MARY AVE	12/05/2025	B: 21-40 MIN	\$219.00
33010134108291	808 IRVINGTON AVE	12/18/2025	F: 101-120 MIN	\$499.00
33010132176191	1500 MARY AVE	12/05/2025	B: 21-40 MIN	\$219.00
33010130303201	2901 MERSEY LANE	01/30/2026	C: 41-60 MIN	\$289.00
33010129208031	1222 GORDON AVE	02/10/2026	A: 0-20 MIN	\$149.00
33010131101201	3611 W HOLMES RD	12/18/2025	C: 41-60 MIN	\$289.00
33010129477012	3229 S M L KING JR BLVD	02/13/2026	D: 61-80 MIN	\$359.00
33010128480001	3205 S CEDAR ST	01/30/2026	F: 101-120 MIN	\$499.00
33010133229111	652 VERNON AVE	12/16/2025	D: 61-80 MIN	\$359.00
33010129201172	1301 W MT HOPE AVE	02/04/2026	D: 61-80 MIN	\$359.00
33010129207041	1410 GORDON AVE	02/09/2026	A: 0-20 MIN	\$149.00
33010130355041	3800 W HOLMES RD	02/10/2026	A: 0-20 MIN	\$149.00
33010129209001	1427 GORDON AVE	02/09/2026	B: 21-40 MIN	\$219.00
33010129201191	1313 W MT HOPE AVE	02/04/2026	B: 21-40 MIN	\$219.00
33010128179301	2402 FOREST AVE	02/13/2026	B: 21-40 MIN	\$219.00
33010129231141	2112 S RUNDLE AVE	12/05/2025	B: 21-40 MIN	\$219.00

33010129231162	2104 S RUNDLE AVE	12/05/2025	B: 21-40 MIN	\$219.00
33010129205091	2118 MARION AVE	02/02/2026	B: 21-40 MIN	\$219.00
33010132475777	827 VINCENT CT	12/18/2025	F: 101-120 MIN	\$499.00
33010133284071	629 JESSOP AVE	12/03/2025	A: 0-20 MIN	\$149.00
33010128480011	3213 S CEDAR ST	01/30/2026	F: 101-120 MIN	\$499.00
33010128304101	600 W HODGE AVE	02/09/2026	B: 21-40 MIN	\$219.00
33010128426003	2701 S CEDAR ST	01/31/2026	F: 101-120 MIN	\$499.00
33010128426003	2701 S CEDAR ST	02/12/2026	F: 101-120 MIN	\$499.00
33010128454173	3200 S CEDAR ST	02/04/2026	F: 101-120 MIN	\$499.00
33010129129111	1620 GORDON AVE	12/15/2025	D: 61-80 MIN	\$359.00
33010130303205	3715 SANDHURST DR	01/29/2026	B: 21-40 MIN	\$219.00
33010128379011	226 W HOLMES RD	02/02/2026	B: 21-40 MIN	\$219.00
33010130206001	2201 LEWTON PLACE	02/13/2026	F: 101-120 MIN	\$499.00
33010129208041	1218 GORDON AVE	02/09/2026	B: 21-40 MIN	\$219.00
33010128476021	3133 S CEDAR ST	01/31/2026	E: 81-100 MIN	\$429.00
33010128336091	122 W HODGE AVE	02/09/2026	F: 101-120 MIN	\$499.00
33010128351351	615 W HODGE AVE	02/09/2026	B: 21-40 MIN	\$219.00
33010128327091	FOREST AVE	02/13/2026	B: 21-40 MIN	\$219.00
33010128284003	2423 S CEDAR ST	01/31/2026	F: 101-120 MIN	\$499.00
33010128336121	100 W HODGE AVE	02/09/2026	F: 101-120 MIN	\$499.00
33010128376031	3241 PALMER ST	02/10/2026	B: 21-40 MIN	\$219.00
33010128327082	FOREST AVE	02/13/2026	B: 21-40 MIN	\$219.00
33010128378001	435 W BERRY AVE	02/10/2026	B: 21-40 MIN	\$219.00
33010127186101	2520 DEVONSHIRE AVE	02/04/2026	B: 21-40 MIN	\$219.00
33010122258251	1430 PERKINS ST	12/05/2025	B: 21-40 MIN	\$219.00
33010129231181	811 COOPER AVE	12/05/2025	B: 21-40 MIN	\$219.00
33010128433032	2919 S CEDAR ST	01/31/2026	F: 101-120 MIN	\$499.00
33010128302091	510 DUNLAP ST	02/09/2026	A: 0-20 MIN	\$149.00
33010120479001	819 SPARROW AVE	12/04/2025	B: 21-40 MIN	\$219.00
33010120478062	906 W BARNES AVE	12/16/2025	F: 101-120 MIN	\$499.00
33010120476002	1028 W BARNES AVE	12/04/2025	F: 101-120 MIN	\$499.00
33010117217081	411 BARTLETT ST	01/29/2026	A: 0-20 MIN	\$149.00
33010128287054	2521 S CEDAR ST	01/31/2026	F: 101-120 MIN	\$499.00
33010128452223	3120 S CEDAR ST	02/09/2026	F: 101-120 MIN	\$499.00
33010120376021	1620 WELLINGTON RD	12/16/2025	D: 61-80 MIN	\$359.00
33010120376011	1610 WELLINGTON RD	12/16/2025	B: 21-40 MIN	\$219.00
33010117378001	405 EVERETT DR	01/29/2026	B: 21-40 MIN	\$219.00
33010120434023	816 SPARROW AVE	12/15/2025	D: 61-80 MIN	\$359.00
33010120381161	1524 W MT HOPE AVE	01/28/2026	A: 0-20 MIN	\$149.00
33010120381181	1516 W MT HOPE AVE	01/28/2026	A: 0-20 MIN	\$149.00
33010120482001	917 W BARNES AVE	12/15/2025	F: 101-120 MIN	\$499.00

33010120482161	915 W BARNES AVE	12/15/2025	F: 101-120 MIN	\$499.00
33010120426003	1021 MOORES RIVER DR	12/16/2025	D: 61-80 MIN	\$359.00
33010120482141	905 W BARNES AVE	12/16/2025	F: 101-120 MIN	\$499.00
33010117256011	224 N JENISON AVE	02/09/2026	F: 101-120 MIN	\$499.00
33010117385031	1608 W ST JOSEPH ST	12/02/2025	B: 21-40 MIN	\$219.00
33010117130241	518 N VERLINDEN AVE	12/05/2025	B: 21-40 MIN	\$219.00
33010117256161	229 WESTMORELAND AVE	02/10/2026	A: 0-20 MIN	\$149.00
33010122258242	1432 PERKINS ST	12/06/2025	C: 41-60 MIN	\$289.00
33010117257181	1315 W IONIA ST	02/10/2026	A: 0-20 MIN	\$149.00
33010115407071	1301 E KALAMAZOO ST	12/18/2025	F: 101-120 MIN	\$499.00
33010115427562	1620 E MICHIGAN AVE	12/06/2025	C: 41-60 MIN	\$289.00
33010117231211	902 W SHIAWASSEE ST	01/05/2026	A: 0-20 MIN	\$149.00
33010117231211	902 W SHIAWASSEE ST	01/29/2026	B: 21-40 MIN	\$219.00
33010117252061	300 WESTMORELAND AVE	02/09/2026	F: 101-120 MIN	\$499.00
33010117251091	1420 W IONIA ST	02/09/2026	F: 101-120 MIN	\$499.00
33010117215191	1415 S GENESEE DR	02/09/2026	F: 101-120 MIN	\$499.00
33010117215021	420 N JENISON AVE	02/09/2026	F: 101-120 MIN	\$499.00
33010116103081	504 W LAPEER ST	12/05/2025	D: 61-80 MIN	\$359.00
33010117252021	322 WESTMORELAND AVE	02/09/2026	F: 101-120 MIN	\$499.00
33010117232031	824 W SHIAWASSEE ST	01/29/2026	B: 21-40 MIN	\$219.00
33010117251121	317 WESTMORELAND AVE	02/09/2026	F: 101-120 MIN	\$499.00
33010117251021	320 N JENISON AVE	02/04/2026	A: 0-20 MIN	\$149.00
33010120478111	821 SPARROW AVE	12/16/2025	E: 81-100 MIN	\$429.00
33010116456021	533 S GRAND AVE	12/17/2025	F: 101-120 MIN	\$499.00
33010120456231	1115 GEORGE ST	12/15/2025	F: 101-120 MIN	\$499.00
33010117251071	1428 W IONIA ST	02/09/2026	F: 101-120 MIN	\$499.00
33010114304411	2208 E MICHIGAN AVE	12/17/2025	F: 101-120 MIN	\$149.00
33010116157071	233 N CHESTNUT ST	02/05/2026	B: 21-40 MIN	\$219.00
33010115403171	1314 EUREKA ST	12/18/2025	F: 101-120 MIN	\$499.00
33010115403091	1315 PROSPECT ST	12/18/2025	F: 101-120 MIN	\$499.00
33010115478001	401 SHEPARD ST	02/05/2026	A: 0-20 MIN	\$149.00
33010114358181	623 S FAIRVIEW AVE	02/13/2026	A: 0-20 MIN	\$149.00
33010115280081	1723 E MICHIGAN AVE	12/16/2025	D: 61-80 MIN	\$359.00
33010115480081	435 REGENT ST	02/05/2026	A: 0-20 MIN	\$149.00
33010115480101	505 REGENT ST	02/05/2026	A: 0-20 MIN	\$149.00
33010114137001	434 N FRANCIS AVE	12/15/2025	C: 41-60 MIN	\$289.00
33010115280071	1717 E MICHIGAN AVE	12/16/2025	D: 61-80 MIN	\$359.00
33010115277121	1811 JEROME ST	12/19/2025	F: 101-120 MIN	\$499.00
33010115277121	1811 JEROME ST	02/10/2026	A: 0-20 MIN	\$149.00
33010114153201	2201 E MICHIGAN AVE	01/29/2026	D: 61-80 MIN	\$359.00
33010120376031	1630 WELLINGTON RD	12/16/2025	E: 81-100 MIN	\$429.00
33010120432082	1000 SPARROW AVE	12/16/2025	C: 41-60 MIN	\$289.00

33010120381171	1520 W MT HOPE AVE	01/28/2026	A: 0-20 MIN	\$149.00
33010114303441	2116 E MICHIGAN AVE	12/17/2025	F: 101-120 MIN	\$499.00
33010114303441	2116 E MICHIGAN AVE	01/29/2026	B: 21-40 MIN	\$219.00
33010120428001	819 MOORES RIVER DR	03/04/2026	F: 101-120 MIN	\$499.00
33010120482131	901 W BARNES AVE	12/16/2025	F: 101-120 MIN	\$350.00
33010117181121	1615 INVERNESS AVE	02/10/2026	A: 0-20 MIN	\$149.00
33010117257191	1319 W IONIA ST	02/10/2026	A: 0-20 MIN	\$149.00
33010114310091	329 S HAYFORD AVE	12/17/2025	F: 101-120 MIN	\$499.00
33010117252031	318 WESTMORELAND AVE	02/09/2026	F: 101-120 MIN	\$499.00
33010114358301	647 S FAIRVIEW AVE	02/13/2026	A: 0-20 MIN	\$149.00
33010114308081	2113 E KALAMAZOO ST	12/17/2025	F: 101-120 MIN	\$499.00
33010111430401	1101 COOLIDGE RD	12/18/2025	B: 21-40 MIN	\$219.00
33010111426131	1301 COOLIDGE RD	12/18/2025	C: 41-60 MIN	\$289.00
33010115259122	1433 E MICHIGAN AVE	02/03/2026	D: 61-80 MIN	\$359.00
33010116107211	513 W LAPEER ST	12/05/2025	A: 0-20 MIN	\$149.00
33010115480121	513 REGENT ST	02/05/2026	A: 0-20 MIN	\$149.00
33010109404022	314 E CESAR E. CHAVEZ AVE	12/17/2025	C: 41-60 MIN	\$289.00
33010108276012	1430 N M L KING JR BLVD	02/10/2026	B: 21-40 MIN	\$219.00
33010115402003	1438 E MICHIGAN AVE	12/06/2025	C: 41-60 MIN	\$289.00
33010115280042	1703 E MICHIGAN AVE	12/16/2025	E: 81-100 MIN	\$429.00
33010111430321	3331 MELODY LANE	12/18/2025	B: 21-40 MIN	\$219.00
33010114153211	2205 E MICHIGAN AVE	01/29/2026	A: 0-20 MIN	\$149.00
33010108451122	818 N JENISON AVE	12/12/2025	D: 61-80 MIN	\$359.00
33010108377091	830 CAWOOD ST	12/17/2025	B: 21-40 MIN	\$219.00
33010108376271	831 CAWOOD ST	12/17/2025	A: 0-20 MIN	\$149.00
33010108458372	1100 W SAGINAW ST	02/09/2026	F: 101-120 MIN	\$499.00
33010109255002	1428 TURNER ST	12/17/2025	D: 61-80 MIN	\$359.00
33010108377101	826 CAWOOD ST	12/17/2025	B: 21-40 MIN	\$219.00
33010108128081	1315 COMFORT ST	12/12/2025	B: 21-40 MIN	\$219.00
33010108176051	1422 COMFORT ST	12/12/2025	D: 61-80 MIN	\$359.00
33010104452121	247 E THOMAS ST	12/18/2025	A: 0-20 MIN	\$149.00
33010104102211	3511 TURNER ST	12/17/2025	A: 0-20 MIN	\$149.00
33010109404031	308 E CESAR E. CHAVEZ AVE	12/17/2025	D: 61-80 MIN	\$359.00
33010105280002	N M L KING JR BLVD	12/15/2025	B: 21-40 MIN	\$219.00
33010109360131	801 N CHESTNUT ST	02/13/2026	D: 61-80 MIN	\$359.00
23500436278041	4100 HEATHGATE DR	01/30/2026	D: 61-80 MIN	\$359.00
33010108176072	1410 COMFORT ST	12/12/2025	D: 61-80 MIN	\$359.00
33010108176101	1340 COMFORT ST	12/12/2025	B: 21-40 MIN	\$219.00
33010114353231	2114 E KALAMAZOO ST	12/16/2025	F: 101-120 MIN	\$499.00
33010114353221	E KALAMAZOO ST	02/16/2026	F: 101-120 MIN	\$499.00
33010503177101	5445 S PENNSYLVANIA AVE	12/19/2025	F: 101-120 MIN	\$499.00
33010114353211	406 S MAGNOLIA AVE	12/17/2025	D: 61-80 MIN	\$359.00

33010106128251	4913 N GRAND RIVER AVE	12/18/2025	B: 21-40 MIN	\$149.00
33010114354001	401 S MAGNOLIA AVE	12/17/2025	F: 101-120 MIN	\$499.00
33010128376021	3229 PALMER ST	02/10/2026	A: 0-20 MIN	\$149.00
33010116457171	341 E HILLSDALE ST	12/17/2025	F: 101-120 MIN	\$499.00
33010116457181	E HILLSDALE ST	12/16/2025	B: 21-40 MIN	\$219.00
33010134105181	3520 HOMEWOOD AVE	12/16/2025	F: 101-120 MIN	\$499.00
33010122177181	1100 S HOLMES ST	02/13/2026	B: 21-40 MIN	\$219.00
33010122177171	1104 S HOLMES ST	02/11/2026	B: 21-40 MIN	\$219.00
33010115332122	332 BINGHAM ST	12/18/2025	F: 101-120 MIN	\$499.00
33010115334210	304 S HOLMES ST	02/10/2026	C: 41-60 MIN	\$289.00
33010115334215	300 S HOLMES ST	02/12/2026	D: 61-80 MIN	\$359.00
33010115334191	312 S HOLMES ST	02/10/2026	B: 21-40 MIN	\$219.00
33010115452011	1410 E KALAMAZOO ST	02/05/2026	D: 61-80 MIN	\$359.00
33010115452232	400 LATHROP ST	02/05/2026	B: 21-40 MIN	\$219.00
33010115426451	1504 E MICHIGAN AVE	12/05/2025	B: 21-40 MIN	\$219.00
33010115479251	518 REGENT ST	02/05/2026	A: 0-20 MIN	\$149.00
33010115479271	510 REGENT ST	02/05/2026	A: 0-20 MIN	\$149.00
33010115479221	532 REGENT ST	02/05/2026	A: 0-20 MIN	\$149.00
33010115479001	401 LESLIE ST	02/05/2026	B: 21-40 MIN	\$219.00
33010115479201	536 REGENT ST	01/05/2026	A: 0-20 MIN	\$149.00
33010122257102	1239 DAKIN ST	02/02/2026	B: 21-40 MIN	\$219.00
33010122257232	1206 MCCULLOUGH ST	02/16/2026	A: 0-20 MIN	\$149.00
33010106429071	2414 DILLINGHAM AVE	02/09/2026	A: 0-20 MIN	\$149.00
33010504451122	115 E MILLER RD	01/30/2026	B: 21-40 MIN	\$219.00
33010504451112	101 E MILLER RD	01/30/2026	B: 21-40 MIN	\$219.00
33010116107211	513 W LAPEER ST	12/05/2025	A: 0-20 MIN	\$149.00
33010115478001	401 SHEPARD ST	02/05/2026	A: 0-20 MIN	\$149.00
33010116157071	233 N CHESTNUT ST	02/05/2026	B: 21-40 MIN	\$219.00
				\$62,034.00

By Council Member Pehlivanoglu

Motion Carried

Resolution #2026-208

By the Committee on Development and Planning
Resolved by the City Council of the City of Lansing

RESOLUTION TO SET A PUBLIC HEARING FOR
BROWNFIELD PLAN #91
6420 S. CEDAR STREET REDEVELOPMENT

WHEREAS, the Lansing Brownfield Redevelopment Authority has prepared and forwarded an approved Brownfield Plan pursuant to and in accordance with the provisions of the Brownfield Redevelopment Financing Act, Public Act 381 of 1996, as amended, for properties commonly referred to as 6420 S. Cedar Street located in the City of Lansing; and

WHEREAS, prior to Council's action on this request, it is necessary to hold a public hearing on the Plan, to allow for any resident, taxpayer or ad valorem taxing unit the right to appear and be heard; and

WHEREAS, the Brownfield Plan is available for public inspection at the Lansing Economic Development Corporation, 401 S. Washington Sq., Suite 101, Lansing, MI 48933, and that all aspects of the Brownfield Plan are open for discussion at the public hearing.

NOW, THEREFORE, BE IT RESOLVED that a public hearing be held in the City Council Chambers of the City of Lansing, 10th Floor, Lansing City Hall, Lansing, Michigan, on Monday, August 10, 2026, at 7:00 p.m. on Brownfield Plan #91 – 6420 S. Cedar Street Redevelopment under the Brownfield Redevelopment Financing Act, for property more particularly described as:

6420 S. Cedar Street (Tax Parcel No. 33-01-05-10-151-002):

THAT PART SECS 9 & 10 COM CL US-127 N 27DEG 58MIN W 761.26 FT FROM INTN CL US-127 & E&W 1/4 LINE SEC 10, TH N 27DEG 58MIN W 443 FT, S 62DEG 02MIN W 276 FT, N 27DEG 58MIN W 250 FT, S 62DEG 02MIN W 220 FT, S 27DEG 58MIN E 693 FT, N 62DEG 02MIN E 496 FT TO BEG; SEC 10 T3N R2W

and that the City Clerk cause notice of such hearing to be published in a publication of general circulation, no less than 10 days or more than 40 days prior to the date of the public hearing, and that the City Clerk also cause the legislative body of each taxing unit levying ad valorem taxes on this property, to be notified of Brownfield Plan #91 – 6420 S. Cedar Street Redevelopment and the scheduled public hearing.

By Council Member Garza

Motion Carried

Resolution #2026-209

By the Committee on Development and Planning
Resolved by the City Council of the City of Lansing

Resolution to Set a Public Hearing Regarding the Granting of an Obsolete Property Rehabilitation Act Certificate at 2231 West Willow, Lansing, Michigan

WHEREAS, AM Land Holdings, owner of the property located at 2231 West Willow Street in the City of Lansing, Michigan (the "Property") has applied to the City of Lansing for the City to approve the issuance of an Obsolete Property Rehabilitation Exemption Certificate (the "OPRA Certificate"), pursuant to the Michigan Obsolete Property Rehabilitation Act, being Public Act 146 of 2000 (the "Act"); and

WHEREAS, the Property in question of the OPRA District located at 2231 West Willow Lansing, Michigan, is legally described as:

2231 West Willow (Tax Parcel No. 33-01-01-08-301-004):

BEG AT W 1/4 COR OF SEC 8; TH S89DEG59'25"E 338.96 FT ALONG E & W 1/4 LINE; TH S00DEG05'11"W 317 FT; TH N89DEG59'25"W 339.45 FT PAR WITH E & W 1/4 LINE; TH N00DEG10'29"E 317 FT ALONG SAID W LINE TO BEG; T4N R2W, CITY OF LANSING, INGHAM COUNTY SPLIT/COMBINED ON 08/29/2018 FROM 33-01-01-08-301-012, 33-01-01-08-301-002; SPLIT/COMBINED ON 02/07/2023 FROM 33-01-01-08-301-003; and

WHEREAS, the Act requires that before granting a Certificate the Lansing City Council hold a public hearing in order to provide an opportunity for the applicant, the City Assessor, a representative of the affected taxing units, the residents, and other taxpayers of the City of Lansing general public appear and be heard regarding the approval of the OPRA Certificate.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Lansing that a public hearing be held in the City Council Chambers of the City of Lansing, 10th Floor, Lansing City Hall, Lansing, Michigan, on Monday, August 10, 2026, at 7:00 p.m. for the purpose of receiving public comment on the approval of an OPRA Certificate under the provisions of Public Act 146 of 2000 and that the Clerk shall publish once in a publication of general circulation within the community a notice of the scheduled public hearing and that the notice appear not less than 10 or more than 30 days prior to the date of the hearing.

By Council Member Garza

Motion Carried

Ordinances for Passage

Passage of Ordinance

An ordinance of the City of Lansing, Michigan, to repeal Chapter 886 of the Lansing Codified Ordinances, Tax Exemptions for Multifamily Dwelling Projects, as the incentive and project described therein has expired and the Chapter is no longer needed.

Was read a second time by its title and adopted by the following roll call vote:

Yeas: Council Members Carter, Garza, Hussain, Kost, Martinez, Nevares Martinez, Pehlivanoglu, Spadafore
Nays: None

Ordinance #1360

An ordinance of the City of Lansing, Michigan, to repeal Chapter 886 of the Lansing Codified Ordinances, Tax Exemptions for Multifamily Dwelling Projects, as the incentive and project described therein has expired and the Chapter is no longer needed.

THE CITY OF LANSING ORDAINS:

Section 1. That Chapter 886, of the Codified Ordinances of the City of Lansing, Michigan, including Sections 886.01-886.04, be and is hereby repealed in its entirety and shall be null and void of no effect.

Section 2. All ordinances, resolutions or rules, parts of ordinances, resolutions or rules inconsistent with the provisions are repealed.

Section 3. Should any section, clause or phrase of this ordinance be declared to be invalid, the same shall not affect the validity of the ordinance as a whole, or any part thereof other than the part so declared to be invalid.

Section 4. This ordinance shall take effect on the 14th day after enactment, unless given immediate effect by City Council.

FAILED

An ordinance of the City of Lansing, Michigan, to amend Chapter 886 of the Lansing Codified Ordinances, Sections 886.01-886.07, to authorize a property tax exemption for certain eligible properties in exchange for a service charge in lieu of taxes rate of four percent of annual shelter rents for up to 18 years, in conformity with the State of Michigan property tax exemption alternative, authorized under 1966 PA 346, as amended; specifically MCL 125.1415a, which permits a city to authorize by ordinance a rate below 10 percent of annual shelter rents.

Was read a second time by its title and was not adopted by the following roll call vote:

Yeas: Council Members Martinez, Nevarez Martinez, Pehlivanoglu, Spadafore

Nays: Council Members Garza, Hussain, Kost, Carter

Speaker Registration for Public Comment on City Government Related Matters

City Clerk Swope announced the deadline for submission of public comment registration forms for those intending to address the City Council on City government related matters and that only those who have submitted a completed form will be permitted to speak.

Reports From City Officers, Boards, and Commissions; Communications and Petitions; and Other City Related Matters

By Vice President Pehlivanoglu that all items be considered as being read in full and that President Spadafore make the appropriate referrals

Motion Carried

- Reports from City Officers, Boards and Commissions:

Item(s) from the City Clerk re:

Minutes of Boards and Commissions placed on file in the Clerk's Office

Placed on File

Non-Profit Recognition; Next Generation Family Services

Referred to the Committee on City Operations

Item(s) from the Mayor re:

Setting a Public Hearing on Brownfield Plan #92; 416 N. Cedar Street Rehabilitation Project, 416 N. Cedar St.

Referred to the Committee on Development and Planning

Brownfield Plan #92; 416 N. Cedar Street Rehabilitation Project, 416 N. Cedar St.

Referred to the Committee on Development and Planning

Grant Acceptance; U.S. Department of Transportation, Better Utilizing Investments to Leverage Development (BUILD) Grant Program for the Safe Streets Lansing Project

Referred to the Committee on Ways and Means

Grant Acceptance; Certified Local Government Grant Program, Westside Neighborhood, Espanore Plat survey

Referred to the Committee on Ways and Means

Grant Acceptance; Michigan Strategic Fund, Revitalization and Placemaking Program "RAP 2.0" grant for the Reutter Park Fountain

Referred to the Committee on Ways and Means

Adding Chapter 245; Office of the Independent Internal Auditor

Referred to the Committee on Ways and Means

Setting a Public Hearing on adding Chapter 245; Office of the Independent Internal Auditor

Referred to the Committee on Ways and Means

- Communications and Petitions, and Other City Related Matters:

Notice from the Michigan Liquor Control Commission; G & S Petroleum LLC, 3400 S Waverly Rd, request for Conditional license; transfer ownership 2026 SDM license issued under MCL 436.1533(7) with Sunday Sales Permit (AM), Beer & Wine Tasting Permit, and Motor Vehicle Fuel Pumps issued under MCL 436.1541(6) 5' (inside) from GPM Southeast, LLC; new Sunday Sales Permit (PM) (RID # RQ-2604-03811)

Referred to the Committee on City Operations

Notice from the Michigan Liquor Control Commission; La Frontera South LLC, 5852 S Martin Luther King Jr Blvd, request for new SDM license issued under MCL 436.1533(5)(b)(i), nontransferable; new Sunday Sales Permit (AM); new Sunday Sales Permit (PM) for the SDM license - Mixed Spirit Drink (RID # RQ-2507-09232)

Referred to the Committee on City Operations

Public Comment on City Government Related Matters

Joanne Beam spoke about unsafe living conditions at the Porter building.

Geraldine Rush spoke about unsafe living conditions at the Porter building.

Mrs. Wilson spoke about various City matters.

Elaine Fischhoff spoke about the proposed Board of Water & Light rate increases.

Jody Washington spoke about homeless encampment sweeps.

Frederic McLaughlin spoke about the 4% PILOT ordinance.

Ivan Droste spoke about the Mod Pod construction.

Loretta Stanaway spoke about the actions of President Spadafore during the meeting.

Adjourned Time 9:54 P.M.

Chris Swope, City Clerk

**CITY OF LANSING
NOTICE OF PUBLIC HEARING**

The Lansing City Council will hold a public hearing on Monday, August 10, 2026, at 7:00 p.m. in the Tony Benavides City of Lansing Council Chambers, Tenth Floor, Lansing City Hall, 124 West Michigan Ave. Lansing, MI 48933, for the purpose stated below:

To afford an opportunity for all residents, taxpayers of the City of Lansing, other interested persons and ad valorem taxing units to appear and be heard on the approval of Brownfield Plan #91– 6420 S. Cedar Street Redevelopment pursuant to and in accordance with the provisions of the Brownfield Redevelopment Financing Act, Public Act 381 of 1996, as amended, for properties commonly referred to as 6420 S. Cedar Street located in the City of Lansing, but more particularly described as:

6420 S. Cedar Street (Tax Parcel No. 33-01-05-10-151-002):

THAT PART SECS 9 & 10 COM CL US-127 N 27DEG 58MIN W 761.26 FT FROM INTN CL US-127 & E&W 1/4 LINE SEC 10, TH N 27DEG 58MIN W 443 FT, S 62DEG 02MIN W 276 FT, N 27DEG 58MIN W 250 FT, S 62DEG 02MIN W 220 FT, S 27DEG 58MIN E 693 FT, N 62DEG 02MIN E 496 FT TO BEG; SEC 10 T3N R2W

Approval of this Brownfield Plan will enable the Lansing Brownfield Redevelopment Authority to capture incremental tax increases which result from the redevelopment of the property to pay for costs associated therewith. Further information regarding this issue, including maps, plats, and a description of the brownfield plan will be available for public inspection and may be obtained from Kris Klein, President & CEO, Lansing Economic Development Corporation, 401 S. Washington Sq, Suite. 101, Lansing, MI 48933, 517-599-1136.

For more information, please call 517-483-4177. If you are interested in this matter, please attend the public hearing or send a representative. Written comments will be accepted between 8 a.m. and 5 p.m. on City business days if received before 5 p.m., on the day of the Public Hearing at the City Clerk's Office, Ninth Floor, City Hall, 124 West Michigan Ave., Lansing, MI 48933 or email city.clerk@lansingmi.gov.

Chris Swope, Lansing City Clerk
www.lansingmi.gov/Clerk
www.facebook.com/LansingClerkSwope



Chris Swope
Lansing City Clerk

August 5, 2026

President and Council Members
10th Floor City Hall
Lansing, MI 48933

Dear President and Council Members:

My office has received and placed on file this document:

Brownfield Plan #91; 6420 S. Cedar Street Project, 6420 S. Cedar St.

This document is available for review at the office of the City Clerk or at <https://mi-lansing3.civicplus.pro/227/Public-Notices-Documents-on-File>.

Sincerely,

Chris Swope, MMC/MiPMC Level 3
Lansing City Clerk

**CITY OF LANSING
NOTICE OF PUBLIC HEARING**

The Lansing City Council will hold a public hearing on Monday, August 10, 2026, at 7:00 p.m. in the Tony Benavides City of Lansing Council Chambers, Tenth Floor, Lansing City Hall, 124 West Michigan Ave. Lansing, MI 48933, for the purpose stated below:

To afford an opportunity for all residents, taxpayers of the City of Lansing, other interested persons and ad valorem taxing units to appear and be heard on the approval of an Obsolete Property Rehabilitation Certificate (the "Certificate"), pursuant to and in accordance with the provisions of the Obsolete Property Rehabilitation Act, Public Act 146 of 2000, for property located at 2231 West Willow Street located in the City of Lansing, but more particularly described as:

2231 West Willow (Tax Parcel No. 33-01-01-08-301-004):

BEG AT W 1/4 COR OF SEC 8; TH S89DEG59'25"E 338.96 FT ALONG E & W 1/4 LINE; TH S00DEG05'11"W 317 FT; TH N89DEG59'25"W 339.45 FT PAR WITH E & W 1/4 LINE; TH N00DEG10'29"E 317 FT ALONG SAID W LINE TO BEG; T4N R2W, CITY OF LANSING, INGHAM COUNTY SPLIT/COMBINED ON 08/29/2018 FROM 33-01-01-08-301-012, 33-01-01-08-301-002; SPLIT/COMBINED ON 02/07/2023 FROM 33-01-01-08-301-003;

Approval of this Certificate will provide the owner or potentially the developer of property an abatement of certain property taxes for the improvements to the property noted above. Further information regarding this issue may be obtained from Shay Manawar, Lansing Economic Development Corporation, 401 S. Washington Sq, Suite. 101, Lansing, MI 48933, 517-897-7208.

For more information, please call 517-483-4177. If you are interested in this matter, please attend the public hearing or send a representative. Written comments will be accepted between 8 a.m. and 5 p.m. on City business days if received before 5 p.m., on the day of the Public Hearing at the City Clerk's Office, Ninth Floor, City Hall, 124 West Michigan Ave., Lansing, MI 48933 or email city.clerk@lansingmi.gov.

Chris Swope, Lansing City Clerk
www.lansingmi.gov/Clerk
www.facebook.com/LansingClerkSwope

Application for Obsolete Property Rehabilitation Exemption Certificate

Issued under authority of Public Act 146 of 2000, as amended.

This application should be filed after the district is established. This project will not receive tax benefits until approved by the State Tax Commission. Applications received after October 31 may not be acted upon in the current year. This application is subject to audit by the State Tax Commission.

INSTRUCTIONS: File the completed application and the required attachments with the clerk of the local government unit. (The State Tax Commission requires two copies of the Application and attachments. The original is retained by the clerk.) See State Tax Commission Bulletin 9 of 2000 for more information about the Obsolete Property Rehabilitation Exemption. The following must be provided to the local government unit as attachments to this application: (a) General description of the obsolete facility (year built, original use, most recent use, number of stories, square footage); (b) General description of the proposed use of the rehabilitated facility, (c) Description of the general nature and extent of the rehabilitation to be undertaken, (d) A descriptive list of the fixed building equipment that will be a part of the rehabilitated facility, (e) A time schedule for undertaking and completing the rehabilitation of the facility, (f) A statement of the economic advantages expected from the exemption. A statement from the assessor of the local unit of government, describing the required obsolescence has been met for this building, is required with each application. Rehabilitation may commence after establishment of district.

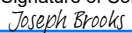
Applicant (Company) Name (applicant must be the OWNER of the facility) AM Land Holdings, LLC									
Company Mailing Address (Number and Street, P.O. Box, City, State, ZIP Code) 25886 Hersheyvale Drive, Franklin, Michigan 48025									
Location of obsolete facility (Number and Street, City, State, ZIP Code) 2231 W. Willow Street, Lansing, Michigan 48917									
City, Township, Village (indicate which) City of Lansing		County Ingham							
Date of Commencement of Rehabilitation (mm/dd/yyyy) 06/01/2026	Planned date of Completion of Rehabilitation (mm/dd/yyyy) 08/01/2026	School District where facility is located (include school code) Lansing Public Schools 330							
Estimated Cost of Rehabilitation 703545.20		Number of years exemption requested 12							
Attach legal description of obsolete property on separate sheet.									
Expected Project Outcomes (Check all that apply) <table><tr><td>☒ Increase commercial activity</td><td>☐ Retain employment</td><td>☒ Revitalize urban areas</td></tr><tr><td>☒ Create employment</td><td>☐ Prevent a loss of employment</td><td>☒ Increase number of residents in the community in which the facility is situated</td></tr></table> Indicate the number of jobs to be retained or created as a result of rehabilitating the facility, including expected construction employment. 12				☒ Increase commercial activity	☐ Retain employment	☒ Revitalize urban areas	☒ Create employment	☐ Prevent a loss of employment	☒ Increase number of residents in the community in which the facility is situated
☒ Increase commercial activity	☐ Retain employment	☒ Revitalize urban areas							
☒ Create employment	☐ Prevent a loss of employment	☒ Increase number of residents in the community in which the facility is situated							
☒ Each year, the State Treasurer may approve 25 additional reductions of half the school operating and state education taxes for a period not to exceed six years. Check the box at left if you wish to be considered for this exclusion.									

APPLICANT CERTIFICATION

The undersigned, authorized officer of the company making this application certifies that, to the best of his/her knowledge, no information contained herein or in the attachments hereto is false in any way and that all of the information is truly descriptive of the property for which this application is being submitted. Further, the undersigned is aware that, if any statement or information provided is untrue, the exemption provided by Public Act 146 of 2000 may be in jeopardy.

The applicant certifies that this application relates to a rehabilitation program that, when completed, constitutes a rehabilitated facility, as defined by Public Act 146 of 2000, as amended, and that the rehabilitation of the facility would not be undertaken without the applicant's receipt of the exemption certificate.

It is further certified that the undersigned is familiar with the provisions of Public Act 146 of 2000, as amended, of the Michigan Compiled Laws; and to the best of his/her knowledge and belief, (s)he has complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the local unit of government and the issuance of an Obsolete Property Rehabilitation Exemption Certificate by the State Tax Commission.

Name of Company Officer (No authorized agents) Joseph Brooks	Telephone Number 989-980-3579	Fax Number
Mailing Address 25886 Hersheyvale Drive, Franklin, Michigan 48025	E-mail Address brooksholdingsco@gmail.com	
Signature of Company Officer (no authorized agents)  Joseph Brooks (Apr 28, 2026 12:29:06 EDT)	Title Organizer	

LOCAL GOVERNMENT UNIT CLERK CERTIFICATION

The Clerk must also complete Parts 1, 2 and 4 on page 2. Part 3 is to be completed by the Assessor.

Signature	Date Application Received
-----------	---------------------------

FOR STATE TAX COMMISSION USE

Application Number	Date Received	LUCI Code
--------------------	---------------	-----------

LOCAL GOVERNMENT ACTION

This section is to be completed by the clerk of the local governing unit before submitting the application to the State Tax Commission. Include a copy of the resolution which approves the application and Instruction items (a) through (f) on page 1, and a separate statement of obsolescence from the assessor of record with the State Assessor's Board. All sections must be completed in order to process.

PART 1: ACTION TAKEN

Action Date

☐ Exemption Approved for _____ Years, ending December 30, _____ (not to exceed 12 years)

☐ Denied

Date District Established

LUCI Code

School Code

PART 2: RESOLUTIONS (the following statements must be included in resolutions approving)

A statement that the local unit is a Qualified Local Governmental Unit.

A statement that the Obsolete Property Rehabilitation District was legally established including the date established and the date of hearing as provided by section 3 of Public Act 146 of 2000.

A statement indicating whether the taxable value of the property proposed to be exempt plus the aggregate taxable value of property already exempt under Public Act 146 of 2000 and under Public Act 198 of 1974 (IFT's) exceeds 5% of the total taxable value of the unit.

A statement of the factors, criteria and objectives, if any, necessary for extending the exemption, when the certificate is for less than 12 years.

A statement that a public hearing was held on the application as provided by section 4(2) of Public Act 146 of 2000 including the date of the hearing.

A statement that the applicant is not delinquent in any taxes related to the facility.

If it exceeds 5% (see above), a statement that exceeding 5% will not have the effect of substantially impeding the operation of the Qualified Local Governmental Unit or of impairing the financial soundness of an affected taxing unit.

A statement that all of the items described under "Instructions" (a) through (f) of the Application for Obsolete Property Rehabilitation Exemption Certificate have been provided to the Qualified Local Governmental Unit by the applicant.

A statement that the application is for obsolete property as defined in section 2(h) of Public Act 146 of 2000.

A statement that the commencement of the rehabilitation of the facility did not occur before the establishment of the Obsolete Property Rehabilitation District.

A statement that the application relates to a rehabilitation program that when completed constitutes a rehabilitated facility within the meaning of Public Act 146 of 2000 and that is situated within an Obsolete Property Rehabilitation District established in a Qualified Local Governmental Unit eligible under Public Act 146 of 2000 to establish such a district.

A statement that completion of the rehabilitated facility is calculated to, and will at the time of issuance of the certificate, have the reasonable likelihood to, increase commercial activity, create employment, retain employment, prevent a loss of employment, revitalize urban areas, or increase the number of residents in the community in which the facility is situated. The statement should indicate which of these the rehabilitation is likely to result in.

A statement that the rehabilitation includes improvements aggregating 10% or more of the true cash value of the property at commencement of the rehabilitation as provided by section 2(l) of Public Act 146 of 2000.

A statement of the period of time authorized by the Qualified Local Governmental Unit for completion of the rehabilitation.

PART 3: ASSESSOR RECOMMENDATIONS

Provide the Taxable Value and State Equalized Value of the Obsolete Property, as provided in Public Act 146 of 2000, as amended, for the tax year immediately preceding the effective date of the certificate (December 31 of the year approved by the STC)

Building Taxable Value

Building State Equalized Value

\$

\$

Name of Government Unit

Date of Action Application

Date of Statement of Obsolescence

PART 4: CLERK CERTIFICATION

The undersigned clerk certifies that, to the best of his/her knowledge, no information contained herein or in the attachments hereto is false in any way. Further, the undersigned is aware that if any information provided is untrue, the exemption provided by Public Act of 2000 may be in jeopardy.

Name of Clerk

Telephone Number

Clerk Mailing Address

Mailing Address

Telephone Number

Fax Number

E-mail Address

Clerk Signature

Date

For faster service, email completed application and attachments to PTE@michigan.gov. An additional submission option is to mail the completed application and attachments to Michigan Department of Treasury, State Tax Commission, PO Box 30471, Lansing, MI 48909. If you have any questions, call 517-335-7491.

OPRA Application (Unsigned Copy)

Final Audit Report

2026-04-28

Created:	2026-04-28
By:	Connor Zook (connor.zook@triterra.us)
Status:	Signed
Transaction ID:	CBJCHBCAABAABuhkUGzXlsHdOLQ7caAGGhniEW6y3DO4

"OPRA Application (Unsigned Copy)" History

-  Document created by Connor Zook (connor.zook@triterra.us)
2026-04-28 - 4:23:18 PM GMT
-  Document emailed to Joseph Brooks (brooksholdingsco@gmail.com) for signature
2026-04-28 - 4:24:31 PM GMT
-  Email viewed by Joseph Brooks (brooksholdingsco@gmail.com)
2026-04-28 - 4:28:42 PM GMT
-  Document e-signed by Joseph Brooks (brooksholdingsco@gmail.com)
Signature Date: 2026-04-28 - 4:29:06 PM GMT - Time Source: server
-  Agreement completed.
2026-04-28 - 4:29:06 PM GMT

February 18, 2026

Application for Obsolete Property Rehabilitation Exemption Certificate

Public Act 146 of 2000, as amended

2231 W. Willow Street

2231 W. Willow Street, Lansing, Michigan

PART 2: APPLICATION DOCUMENTS

a. General Description of the facility (year built, original use, most recent use, number of stories, square feet)

The existing buildings were constructed in 1929 and utilized for furniture and textile manufacturing. By 1951, the property was occupied by Burton Dixie Corporation for felt product manufacturing. By 1972, the property was utilized as a metal heat treating facility. From 2008 until 2018, the property operated as a paper and packaging manufacturer. The Property buildings are currently unoccupied. The buildings are 20,703 square feet respectively. The buildings are approximately 97 years old, functionally obsolete, and located in the City of Lansing.

b. Description of the qualified facility's proposed use

A redevelopment of a two-story, functionally obsolete property totaling 20,703 square feet located in the City of Lansing. The building will contain two commercial businesses. An auto body/paint business will occupy a portion of the building and a warehouse/indoor salvage business within the western portion of the building. Exterior enhancements include modernized façade improvements, complete exterior repainting, and landscaping overhaul. Site and safety upgrades include resurfacing the parking lot and installation of new lighting. Interior enhancements include building out the office and lobby, and renovating employee and customer restrooms and break rooms with modern fixtures. Operational investments include new state-of-the-art equipment and mechanical system updates.

c. Description of the general nature and extent of the rehabilitation to be undertaken

This is a complete rehabilitation project that will include exterior and interior enhancements, site and safety upgrades, and operational investments.

d. Descriptive list of the fixed building equipment that will be a part of the qualified facility

The building interior will be demolished down to the structural components of the building while maintaining and/or reusing as many of the original architectural features as possible. New fixed building equipment will include air condition (HVAC), plumbing and plumbing fixtures, electrical, fire suppression, interior walls and flooring, building accessories, and improved interior and exterior appearance.

e. Time schedule for undertaking and completing the facility's rehabilitation

The rehabilitation project is anticipated to take 4 months to complete with a construction schedule currently planned for March 1, 2026, through July 1, 2026. No construction activities will be conducted prior to any approval of the PA 146 abatement.

f. Statement of the economic advantages expected from the exemption

Redevelopment of the property would provide numerous benefits to the City. While the specific facility would undergo considerable renovation, the entire area would benefit from the transformation of a functionally obsolete and deteriorating building into a thriving and fully utilized property. The project will also create approximately 30 full-time jobs.

In an effort to maximize the utility value of the vacant, dilapidated building, the applicant is committed to doing a complete rehabilitation of the building. In that context, the applicant will incur considerable renovation costs. The establishment of the PA 146 District, with its multi-year property tax deferment benefit, is vital to making the project economically viable.

g. Legal description of the facility

The legal description of the eligible property is provided below.

2231 W WILLOW:

BEG AT W 1/4 COR OF SEC 8; TH S89DEG59'25"E 338.96 FT ALONG E & W 1/4 LINE; TH S00DEG05'11"W 317 FT; TH N89DEG59'25"W 339.45 FT PAR WITH E & W 1/4 LINE; TH N00DEG10'29"E 317 FT ALONG SAID W LINE TO BEG; T4N R2W, CITY OF LANSING, INGHAM COUNTY SPLIT/COMBINED ON 08/29/2018 FROM 33-01-01-08-301-012, 33-01-01-08-301-002; SPLIT/COMBINED ON 02/07/2023 FROM 33-01-01-08-301-003;

2231 Willow Street, Lansing, MI - AM Land Holdings - Maaco

Bid and Budget Summary - Final - Draft Use Only								
Owner	AM Land Holdings, LLC	Date	Estimator:					
Building SF:			Checked By:					
Location:	2231 Willow Street, Lansing, MI	Draft Use Only	Architect					
Description:	Existing Building Renovations							
Division	Description	Qty	Unit	\$/Unit	Sub Contractor	Total		Notes
1	Division 1 - General Requirements							
	General Requirements	\$ 16,835.00						
	Temporary Toilets (Parts Jons)	4.00		\$110.00		\$ 440.00		
	Health and Safety Requirements	4.00		\$975.00		\$ 3,900.00		
	CM Insurance Requirements	1.00		\$3,145.00		\$ 3,145.00		
	Rental Equipment - Crane/Lift/Dehumidifiers/Fans/Etc.	1.00		\$4,500.00		\$ 4,500.00		
	Building Permit Fees (Plan Review by Owner/Architect)	1.00		\$3,000.00		\$ 3,000.00		
	Utility Meters (Gas, Electric, Water)					\$ -		
	Legal and Accounting	1.00		\$1,850.00		\$ 1,850.00		
	Division 1 Total					\$ 16,835.00		
2	Division 2 - Demolition	\$ 32,750.00						
	Selective Interior Demolition	1		\$21,500.00		\$ 21,500.00		
	Exterior Façade Demolition					\$ -		
	Power Wash existing interior ceilings and walls	60		\$62.50		\$ 3,750.00		
	Dumpsters - 20 and/or 30 c.y.	8		\$625.00		\$ 5,000.00		
	Interior Sawcutting and Patch (50 sq/ft) for Plumbing - Office and Paint Area Only	1		\$2,500.00		\$ 2,500.00		
	Division 2 Total					\$ 32,750.00		
02A	Division 2A - Abatement							
	Abatement, Testing, and Reporting	\$ -				\$ -		
	Division 2A Total					\$ -		
3	Division 3 - Concrete	\$ -						
	Exterior Concrete (Sidewalk)					\$ -		
	Division 3 Total					\$ -		
4	Division 4 - Masonry	\$ 10,500.00						
	Misc. Tuck pointing and repair of existing CMU Block + Brick at East Elevation Only	1		\$10,500.00		\$ 10,500.00		
	Infill (1) New CMU door opening between Warehouse areas							
	Division 4 Total					\$ 10,500.00		
5	Division 5 Metals and Steel	\$ 8,971.00						
	Replace Floor Grate in Paint Area					\$ -		
	Surface Mount Bollards and Bollard Covers (26)	1		\$8,971.00		\$ 8,971.00		
	Division 5 Total					\$ 8,971.00		
6M	Division 6M - Rough Carpentry	\$ 25,160.00						
	Steel Stud Framing, Blocking, and Bracing	1		\$18,410.00		\$ 18,410.00		
	Rough Carpentry Material + Fasteners	1		\$6,750.00		\$ 6,750.00		
	Replace Existing Subfloor and Joists in Office Area							
6F	Division 6F - Finish Carpentry and Millwork	\$ 2,450.00						
	Millwork (Cabinets and Tops) - PLAM - Breakroom Material Only / No Lobby	1		\$2,450.00		\$ 2,450.00		
	Labor To Install Breakroom Cabinets / P-Lam C-Top							
6A	Division 6A - General Trades	\$ 7,250.00						
	General Trades Labor - Doors, Frames, Hardware, Trims, Cabs, Tops, Misc.	1		\$7,250.00		\$ 7,250.00		
	Install Restroom Accessories					\$ -		
	Division 6 Total					\$ 34,860.00		
7	Division 7 Exterior Finishes	\$ 5,000.00						
	Remove, Patch, and Repair Existing Metal Siding, Flashings, and Trims	1		\$5,000.00		\$ 5,000.00		
7.2	Division 7 Firestopping	\$ 1,950.00						
	Sealants, Rock Wool, Hilti Fire Seals (MEP)	1		\$1,950.00		\$ 1,950.00		
7.3	Division 7A Roofing	\$ 2,500.00						
	Penetrations for new mechanical systems (vents and exhaust piping)	1		\$2,500.00		\$ 2,500.00		
7.7	Division 7A Insulation	\$ 2,477.00						
	Interior Sound Batt Insulation and Sealing	1		\$2,477.00		\$ 2,477.00		
7.5	Division 7 Caulking	\$ 2,200.00						
	Interior and Exterior Caulking - Related Areas Only	1		\$2,200.00		\$ 2,200.00		
	Division 7 Total					\$ 14,127.00		

2231 Willow Street, Lansing, MI - AM Land Holdings - Maaco

8	Division 8 - Openings						
8.1	Division 8 Doors, Frames & Hardware - Material Only	\$ 38,864.00					
	Interior Doors, Frames and Hardware Material Only FOB	1	\$13,200.00		\$ 13,200.00		
	Overhead High Speed 14' x 12' Door	1	\$25,664.00		\$ 25,664.00		
8.2	Division 8 Aluminum Storefront - Glass & Glazing	\$ 29,250.00					
	New Storefront Glass, Door, Frame, and Hardware	1	\$29,250.00		\$ 29,250.00		
	Interior Glass and Glazing - Fixed Windows + Doors						
8.3	Division 8A Architectural Windows	\$ -					
	NA						
	Division 8 Total				\$ 68,114.00		
9	Division 9 - Finishes						
9	Division 9 Gypsum Board Assemblies and ACT	\$ 31,077.00					
	Drywall Hang and Finish - Labor and Material	1	\$28,711.00		\$ 28,711.00		
	FRP material and labor				\$ -		
	ACT Ceilings (2x2 tegular - white) - Restrooms	1	\$2,366.00		\$ 2,366.00		
09A	Division 9A Painting	\$ 37,415.00					
	Interior and Exterior Painting Package - Existing Ceiling, Walls, Doors, CMU	1	\$37,415.00		\$ 37,415.00		
9B	Division 9B Finish Flooring	\$ 19,212.50					
	LVT in Office + Break Areas + Restrooms w/ vinyl base	1	\$15,262.50		\$ 15,262.50		
	Ceramic Floor/Tile and Tile Base in Restrooms	1	\$3,950.00		\$ 3,950.00		
	Clean and Seal existing concrete in Paint + Wash Areas (Garage)						
	Division 9 Total				\$ 87,704.50		
10	Specialties	\$ 1,850.00					
	Toilet Accessories / Fire Extinguishers / Stops / Interior Signage	1	\$1,850.00		\$ 1,850.00		
	Division 10 Total				\$ 1,850.00		
11	Division 11 - Appliances	\$ -					
	Division 11 Total				\$ -		
12	Division 12 - Furnishings	\$ -					
	Painting and Wash Bay Equipment Booths (Maaco)				\$ -		
	Division 12 Total				\$ -		
13	Division 13 - Special Construction	\$ -					
	NA						
	Division 13 Total				\$ -		
14	Division 14 - Conveying Equipment	\$ -					
	Division 14 Total				\$ -		
21	Division 21 Fire Suppression - Design/Build	\$ 16,950.00					
	Modify existing Fire Sprinkler System to accommodate new tenant/use	1	\$16,950.00		\$ 16,950.00		
	Design Documents and Permits						
	Division 21 Total				\$ 16,950.00		
22	Division 22 Plumbing - Design/Assist	\$ 51,500.00					
	Demo and Underground	1	\$51,500.00		\$ 51,500.00		
	(3) New Restrooms and Breakroom						
	Plumbing Fixtures, Vents, Drains, and Water Distribution						
	New 30-Gallon Hot Water Heater for Restrooms and Breakroom						
	Instant Hot Water Unit and Wash Connections in Paint Bay						
	Modify Existing Vapor Mitigation System						
	Wash Bay(s) and New Sand Oil Separator						
	Division 22 Total				\$ 51,500.00		
23	Division 23 - HVAC- Design/Assist	\$ 74,700.00					
	New Furnace, Coil, and AC to service Lobby, Offices and Break Area	1	\$37,000.00		\$ 37,000.00		
	Ductwork, stats, vents, exhaust fans and diffusers						
	Relocate existing ceiling mounted infrared heater/gas piping in Paint/Wash Areas	1	\$8,000.00		\$ 8,000.00		
	Single Truck Paint Booth and MAU ducting and gas piping	1	\$24,700.00		\$ 24,700.00		
	Owner Air Compressor Installation, piping, and drop points - 20'-0" Lineal feet of line	1	\$5,000.00		\$ 5,000.00		
	CO2 Alarm System and Associated Venting						
	Division 23 Total				\$ 74,700.00		

2231 Willow Street, Lansing, MI - AM Land Holdings - Maaco

26	Division 26 - Electrical - Design/Assist	\$	69,355.00						
	Power distribution, conduit, switching, plugs, and EM lighting		1	\$47,855.00	\$	47,855.00			
	Power for (1) Truck Paint Booth and MAU								
	All Interior and Exterior Light fixtures		1	\$15,000.00	\$	15,000.00			
	Fire Alarm - Final Drawings TBD		1	\$6,500.00	\$	6,500.00			
	Division 26 Total				\$	69,355.00			
31	Division 31 / 33 - Earthwork and Utilities	\$	-						
	Utilize all existing utility connections inside existing building footprint								
	Division 31 Total					\$	-		
32	Division 32 - Exterior Improvements	\$	86,645.00						
	Mill in place, shape, and resurface a portion of the existing parking area		1	\$60,000.00	\$	60,000.00			
	Install ADA signage and restripe accordingly								
	Remove (4) Existing Trees at NE corner of site		1	\$8,000.00	\$	8,000.00			
	Grind Stumps and Remove all debris								
	Landscaping - Restoration of existing yard space, mulch, and plantings		1	\$3,500.00	\$	3,500.00			
	Site Concrete								
	New exterior sidewalk (excavation, grade, control joint, finish) - 4" Concrete		1	\$15,145.00	\$	15,145.00			
	Division 32 Total					\$	86,645.00		
1	Division 1 General Requirements - Continued	\$	64,725.00						
	General Requirements								
	Senior Project Oversight		16	\$1,950.00	\$	-			
	Site Superintendent		4	\$1,950.00	\$	31,200.00			
	Project Manager		1	\$1,285.00	\$	5,140.00			
	Mobilization and Project Set Up		1	\$3,500.00	\$	3,500.00			
	Project Administrator		1	\$2,950.00	\$	2,950.00			
	Project vehicles/travel/fuel		4	\$485.00	\$	1,940.00			
	Project Job Trailer, Supplies, Storage								
	Project Signage and Markings		1	\$700.00	\$	700.00			
	Mobile phones and data		4	\$185.00	\$	740.00			
	Main Office Expense		1	\$3,755.00	\$	3,755.00			
	Reproductions		1	\$650.00	\$	650.00			
	General Labor		80	\$65.00	\$	5,200.00			
	Final Cleaning including windows		1	\$2,150.00	\$	2,150.00			
	Construction Consumables - Misc materials		1	\$1,800.00	\$	1,800.00			
	Mechanical, Electrical, and Plumbing - Engineering (Seal)		1	\$5,000.00	\$	5,000.00			
						\$64,725.00			
	Project Direct Cost				\$	639,586.50			
	GC/CM Management Fee				\$	63,958.70			
	Preliminary Project Cost				\$	703,545.20			



Andy Schor, Mayor

CITY ASSESSING OFFICE

Jennifer Czeiszperger, MMAO

Assessor's Office

3rd Floor City Hall

124 West Michigan Avenue

Lansing, Michigan 48933

(517) 483-7624

FAX: (517) 483-4101

www.lansingmi.gov/City-Assessor

October 6, 2025

Lansing Economic Development Corp

Re: Functional Obsolescence Determination
2231 W Willow St
33-01-01-08-301-004



The subject property was originally constructed in 1929. It is a one story masonry and steel frame building that was originally constructed as a single tenant industrial building. The building was constructed in two sections with a brick and block demising wall separating the two buildings.

During the inspection it was observed that the roof has a wood structure that has deferred maintenance which has resulted in roof leaks. It was also noted that obsolete furnaces are also located upon the roof that are contributing to the leaks and have compromised the roof structure.

The buildings have some limited radiant heat sources that are not sufficient to heat the entire building and will need to be reconfigured to properly function as a heat source. At this time, it was not known if these systems are currently operational.

There currently are no functioning restrooms located within the building. This must be corrected prior to occupancy. Correcting this may include cutting the floor to access water and sewer systems. Further, there were visible floor drains that are required to be permanently sealed for safety reasons. The wall structures had many areas that need tuck pointing as the exterior light was showing through the holes and seams.

After a phase one environmental survey, it was determined that the building suffers from contamination and remediation is required in order to occupy the space. Monitoring wells are present on the subject site due to these issues.

Based on all the repairs and replacements of mechanical systems, present hazardous environmental contamination and the immediate need for roof and wall repairs, a functional obsolescence is present due to the fact that the cost to cure exceeds the potential value of the property.



Jennifer Czeiszperger, MMAO
City Assessor's Office

Public Hearing Notice on the Noise Special Permit
Combined Sewer Overflow (CSO) Ottawa Street Project

The Lansing City Council will hold a public hearing on Monday August 10, 2026 at 7 p.m. in the Tony Benavides Lansing City Council Chambers, Tenth Floor, Lansing City Hall, 124 W. Michigan Ave., Lansing, Michigan for the purpose stated below:

To afford an opportunity for all residents of the City of Lansing to appear and be heard with regard to a request for a Noise Special Permit in accordance with the provisions of Chapter 654 of the Code of Ordinances, while Hoffman Bros. Inc., is conducting work as part of the Combined Sewer Overflow (CSO) Ottawa Street Project on Saturdays from 8:00 AM to 4:30 PM for the period of August 29, 2026, through November 14, 2026. **The Project area located on W Ottawa Street from N Capitol Avenue to N Washington Square.**

For more information, please call 517-483-4177. If you are interested in this matter, please attend the public hearing or send a representative. Written comments will be accepted between 8 a.m. and 5 p.m. on City business days if received before 5 p.m., on the day of the Public Hearing at the City Clerk's Office, Ninth Floor, City Hall, 124 West Michigan Ave., Lansing, MI 48933 or email city.clerk@lansingmi.gov.

Chris Swope, Lansing City Clerk, MMC/MiPMC

www.lansingmi.gov/Clerk

Public Hearing Notice on the Noise Special Permit
Combined Sewer Overflow (CSO) 015South Project

The Lansing City Council will hold a public hearing on Monday August 10, 2026 at 7 p.m. in the Tony Benavides Lansing City Council Chambers, Tenth Floor, Lansing City Hall, 124 W. Michigan Ave., Lansing, Michigan for the purpose stated below:

To afford an opportunity for all residents of the City of Lansing to appear and be heard with regard to a request for a Noise Special Permit in accordance with the provisions of Chapter 654 of the Code of Ordinances, while Leavitt and Starck Excavating, Inc., is conducting work as part of the Combined Sewer Overflow (CSO) 015South Project on Saturdays from 8:00 AM to 4:30 PM for the period of August 29, 2026, through October 31, 2026. **The Project area generally bounded by W Shiawassee Street on the northside, N Jenison Avenue on the eastside, W Michigan Avenue on the southside, and Verlinden St. on the westside.**

For more information, please call 517-483-4177. If you are interested in this matter, please attend the public hearing or send a representative. Written comments will be accepted between 8 a.m. and 5 p.m. on City business days if received before 5 p.m., on the day of the Public Hearing at the City Clerk's Office, Ninth Floor, City Hall, 124 West Michigan Ave., Lansing, MI 48933 or email city.clerk@lansingmi.gov.

Chris Swope, Lansing City Clerk, MMC/MiPMC

www.lansingmi.gov/Clerk

Swope, Chris

From: Kimberlyn Fauson <kimberlynfauson@gmail.com>
Sent: Thursday, July 30, 2026 4:32 PM
To: Clerk, City
Cc: Spadafore, Peter
Subject: RE: [EXTERNAL] Noise Special Permit

I'd like to add an additional reason I do not wish you to grant a Noise Special Permit for Saturdays from August 29 to October 31, 2026.

There doesn't seem to be much consideration for reducing noise and pollution when possible. Numerous times, I witnessed trucks sit in the parking lane in front of my house on North Jenison and idle while waiting. Trucks bringing loads of dirt waiting to either dump or move into position to receive dirt would sit on the road ahead of time, and drivers leave the trucks on, even when weather would permit turning them off (it's cool enough not to need AC or warm enough not to need heat). I've also witnessed construction equipment drivers back up full city block lengths instead of turning around and going forward, which just adds back-up beeper noise.

Again, I could extend grace if more consideration for residents and communication with us had happened throughout the project. But as it stands, this noise waiver is a no for me.

Sincerely,
Kimberlyn A. Fauson
312 N. Jenison Avenue

On Thu, Jul 30, 2026 at 12:17 PM Kimberlyn Fauson <kimberlynfauson@gmail.com> wrote:

I am writing to voice my objection to granting a Noise Special Permit to Leavitt and Starck Excavating for Saturdays from August 29 to October 31, 2026. Please do not grant a special permit to Leavitt and Starck.

As a resident of North Jenison Avenue, I am incredibly frustrated with the fact that CSO work for our section took nearly two months longer to complete than was originally projected. I have reached out to Marc Jones on numerous occasions to obtain an explanation for the delay. All I was offered was "spring rains." While certainly the heavy rains that we sustained this spring could account for a delay of two to three weeks, this does not explain a two-month delay. Every time I was given a new projected finish date by Marc Jones, Leavitt and Starck did not complete work by that date. Time after time after time, they did not come in on time. Fishbeck and Leavitt were copied on these communications, and no one from either company ever reached out to explain.

Therefore, I have no grace left to extend to Leavitt and Starck when it comes to this project. I firmly believe that you could grant the waiver and they STILL won't manage to complete work as projected.

I furthermore encourage council members to inquire as to why North Jenison residents dealt with such a lengthy delay and to communicate that to residents, because no one is being transparent as to the reasons. In addition, I'd encourage you to consider imposing financial penalties on Leavitt and Starck for not completing project work anywhere close to on time.

Please do not make this residents' problem. We already are dealing with frazzled nerves. I don't have it in me to lose one or two days of peace and quiet each week to accommodate a construction company that can't get its act together and isn't being transparent about delays.

Sincerely,
Kimberlyn A. Fauson
312 N. Jenison Avenue

Swope, Chris

From: Jana Nicol <jananicol@yahoo.com>
Sent: Saturday, August 1, 2026 1:48 PM
To: City Council; Clerk, City
Subject: [EXTERNAL] Noise Special Permit
Attachments: Scan_20260801.jpg; Screenshot 2026-08-01 134543.png

Dear City Council and City Clerk,

We have been asked more than once during the CSO project for a noise waiver and we keep saying No. And No means No.

The contractors start prior to 8 am Monday - Friday and work past 5 pm. It's dirty, it's noisy, it's disruptive. And while all of us in this neighborhood agree the project needs to be done, it is a very intrusive project.

People have had items vibrate off the shelves in their homes and break due to this project. And yet the engineers refuse to monitor the vibration or the impacts it is having on our 80+ year old homes. Neighbors here are very anxious and stressed.

We do not want work done on Saturdays, for many of us it is the only day of rest we have.

The attached photo is from a broken vase at the home of Mark Taylor on May 21, 2026. The construction caused it to vibrate off their mantle. Just one of many examples of the damage done by the vibration from this project.

Jana Nicol
jananicol@yahoo.com



Public Hearing Notice on the Noise Special Permit

The Lansing City Council will hold a public hearing on Monday August 10, 2026 at 7 p.m. in the Tony Benavides Lansing City Council Chambers, Tenth Floor, Lansing City Hall, 124 W. Michigan Ave., Lansing, Michigan for the purpose stated below:

To afford an opportunity for all residents of the City of Lansing to appear and be heard with regard to a request for a Noise Special Permit in accordance with the provisions of Chapter 654 of the Code of Ordinances, while Leavitt and Starck Excavating, Inc., is conducting work as part of the Combined Sewer Overflow (CSO) 015South Project on Saturdays from 8:00 AM to 4:30 PM for the period of August 29, 2026, through October 31, 2026. **The Project area generally bounded by W Shiawassee Street on the northside, N Jenison Avenue on the eastside, W Michigan Avenue on the southside, and Verlinden St. on the westside .**

For more information, please call 517-483-4177. If you are interested in this matter, please attend the public hearing or send a representative. Written comments will be accepted between 8 a.m. and 5 p.m. on City business days if received before 5 p.m., on the day of the Public Hearing at the City Clerk's Office, Ninth Floor, City Hall, 124 West Michigan Ave., Lansing, MI 48933 or email city.clerk@lansingmi.gov.

Chris Swope, Lansing City Clerk, MMC/MIPMC
www.lansingmi.gov/Clerk

Resolution #2026-###

By the Committee on City Operations
Resolved by the City Council of the City of Lansing

WHEREAS, the Mayor has recommended the appointment of Kalman Mate as the 4th Ward member of the Human Relations and Community Services Advisory Board for a term to expire June 30, 2028; and

WHEREAS, the Mayor's office has confirmed with this resolution, that they have vetted the applicant based on the original application and believes that the applicant meets the qualifications as required by the City Charter; and

WHEREAS, the Committee on City Operations met on July 23, 2026, and took affirmative action.

NOW, THEREFORE, BE IT RESOLVED that the Lansing City Council, hereby, confirms the appointment of Kalman Mate as the 4th Ward member of the Human Relations and Community Services Advisory Board for a term to expire June 30, 2028.

Resolution #2026-###

By the Committee on Public Safety
Resolved by the City Council of the City of Lansing

WHEREAS, the Lansing Code Compliance Officer has declared a certain structure at 920 Long Blvd, 33-01-05-10-304-042, LOTS 5 & 6 LONG COMMERCE PARK , City of Lansing, Ingham County, Michigan, as recorded in Ingham County Records, to be an unsafe and dangerous building and requested the property owner be ordered to demolish or otherwise make safe the structure; and

WHEREAS, the Code Compliance Officer red tagged the said structure on AUGUST 26TH, 2025 and requested the property owner be ordered to demolish or otherwise make safe the structure; and

WHEREAS, on MAY 5th, 2026, a Lansing Demolition Hearing Officer held a meeting to consider and make a recommendation on whether to declare the structure a dangerous building, as defined in the Housing Law of Michigan (MCLA 125.539) and the Lansing Housing and Property Maintenance Code (Ord. 1460.01, et seq.), and ordered the property owner to make safe or demolish the structure by JULY 6th, 2026; and

WHEREAS, the Office of Code Compliance has determined that compliance with the order of the Lansing Demolition Hearing Officer has not occurred; and

WHEREAS, the Housing Law of Michigan and the Lansing Codified Ordinances require that a hearing be conducted to give the property owner an opportunity to show cause why a dangerous structure should not be demolished or otherwise made safe;

NOW, THEREFORE, BE IT RESOLVED that a show cause hearing for Monday, August 24, 2026 at 7:00 p.m. in Tony Benavides Lansing City Council Chambers, Tenth Floor, Lansing City Hall, 124 West Michigan Avenue, Lansing, Michigan in consideration of the finding and order of the Lansing Demolition Hearing Officer regarding the structure at 920 Long Blvd, as legally described above, to give the owner, or the owner's agent, the opportunity to appear and show cause why the building should not be demolished or otherwise made safe; and to approve, disapprove, or modify the order of the Hearing Officer to demolish or make safe the subject structure.

BE IT FINALLY RESOLVED that the Lansing City Council requests that the Code Compliance Officer notify the owner(s) of said property of the opportunity to appear and present testimony at the hearing, as required by law.

Resolution #2026-###

By the Committee on Public Safety
Resolved by the City Council of the City of Lansing

WHEREAS, the Code Compliance Officer has determined that the building located at , 431 S. Francis Ave, 33-01-01-14-377-081, LOT 194 SNYDERS SUB, City of Lansing, Ingham County, Michigan, as recorded in Ingham County Records, is an unsafe or dangerous building as defined in Section 108.1 of the International Property Maintenance Code as adopted by Lansing Codified Ordinance 1460.01, and the Housing Law of Michigan, and the building was red tagged on JULY 5TH, 2020; and

WHEREAS, a hearing was held by a Lansing Demolition Hearing Officer on MAY 5TH, 2026, at which the Hearing Officer determined that said building was an unsafe and dangerous building and ordered the building demolished or made safe by JUNE 5TH, 2026 and

WHEREAS, said Hearing Officer filed a report of their findings and order with the City Council and requested the City Council to take appropriate action under the Lansing Codified Ordinances and the Housing Law of Michigan; and

WHEREAS, the Housing Law of Michigan and Lansing Codified Ordinances require a hearing be conducted to give the property owner an opportunity to show cause why a dangerous structure should not be demolished or otherwise made safe; and

WHEREAS, the City Council held a public show cause hearing on July 27, 2026 to review the findings and the order of the Hearing Officer, and the owners were notified in writing of said hearing and had an opportunity to appear and show cause why said building should not be demolished or otherwise made safe; and

WHEREAS, the Office of Code Compliance has determined that compliance with the order of the Lansing Demolition Hearing Officer has not occurred.

NOW, THEREFORE, BE IT RESOLVED that the owner(s) of 431 S. Francis Ave, as legally described above, are hereby directed to comply with the order of the Hearing Officer to demolish or otherwise make safe the said building within 21 days from the date of this resolution, August 10, 2026.

BE IT FURTHER RESOLVED that the property owner(s) is hereby notified that this order must be appealed within twenty days pursuant to MCL 125.542 and should the owners fail to comply with the Hearing Officer's order for demolition or make safe, the Code Compliance Officer is hereby directed to proceed with demolition of said building.

BE IT FURTHER RESOLVED, whether demolition is accomplished by said property owner or the City, that appropriate seeding and restoration of property take place to avoid run-off to adjacent properties.

BE IT FURTHER RESOLVED that if the demolition is accomplished by the City, the cost of such demolition shall be a lien against the real property and shall be reported to the City Assessor.

BE IT FINALLY RESOLVED that the owners in whose name the property appears upon the last local tax assessment record shall be notified by the City Assessor of the amount of such cost by first class mail at the address shown on the records. Upon the owner's failure to pay the same within thirty (30) days after mailing by the City Assessor of the notice of the amount thereof, the amount of said costs shall be a lien and shall be filed and recovered as provided by law and the lien shall be collected and treated in the same manner as provided for property tax liens under the general property tax act.

Resolution #2026-###

By the Committee on Public Safety
Resolved by the City Council of the City of Lansing

WHEREAS, the Code Compliance Officer has determined that the building located at , 1217 N. Grand River Avenue, 33-01-01-09-326-141, COM AT NE COR LOT 4, TH W 237.5 FT S 10 FT, SE'LY TO PT 1 R W OF SW COR LOT 4, E 81.5 FT, N 22 FT, E 100 FT, N 44 FT TO BEG; BLOCK 29 ORIG PLAT, City of Lansing, Ingham County, Michigan, as recorded in Ingham County Records, is an unsafe or dangerous building as defined in Section 108.1 of the International Property Maintenance Code as adopted by Lansing Codified Ordinance 1460.01, and the Housing Law of Michigan, and the building was red tagged on JANUARY 30TH, 2025; and

WHEREAS, a hearing was held by a Lansing Demolition Hearing Officer on MARCH 24TH, 2026, at which the Hearing Officer determined that said building was an unsafe and dangerous building and ordered the building demolished or made safe by MAY 26TH, 2026 and

WHEREAS, said Hearing Officer filed a report of their findings and order with the City Council and requested the City Council to take appropriate action under the Lansing Codified Ordinances and the Housing Law of Michigan; and

WHEREAS, the Housing Law of Michigan and Lansing Codified Ordinances require a hearing be conducted to give the property owner an opportunity to show cause why a dangerous structure should not be demolished or otherwise made safe; and

WHEREAS, the City Council held a public show cause hearing on July 27, 2026 to review the findings and the order of the Hearing Officer, and the owners were notified in writing of said hearing and had an opportunity to appear and show cause why said building should not be demolished or otherwise made safe; and

WHEREAS, the Office of Code Compliance has determined that compliance with the order of the Lansing Demolition Hearing Officer has not occurred.

NOW, THEREFORE, BE IT RESOLVED that the owner(s) of 1217 N. Grand River Ave, as legally described above, are hereby directed to comply with the order of the Hearing Officer to demolish or otherwise make safe the said building within 60 days from the date of this resolution, August 10, 2026.

BE IT FURTHER RESOLVED that the property owner(s) is hereby notified that this order must be appealed within twenty days pursuant to MCL 125.542 and should the owners fail to comply with the Hearing Officer's order for demolition or make safe, the Code Compliance Officer is hereby directed to proceed with demolition of said building.

BE IT FURTHER RESOLVED, whether demolition is accomplished by said property owner or the City, that appropriate seeding and restoration of property take place to

avoid run-off to adjacent properties.

BE IT FURTHER RESOLVED that if the demolition is accomplished by the City, the cost of such demolition shall be a lien against the real property and shall be reported to the City Assessor.

BE IT FINALLY RESOLVED that the owners in whose name the property appears upon the last local tax assessment record shall be notified by the City Assessor of the amount of such cost by first class mail at the address shown on the records. Upon the owner's failure to pay the same within thirty (30) days after mailing by the City Assessor of the notice of the amount thereof, the amount of said costs shall be a lien and shall be filed and recovered as provided by law and the lien shall be collected and treated in the same manner as provided for property tax liens under the general property tax act.

Resolution #2026-###

By the Committee on Public Safety
Resolved by the City Council of the City of Lansing

WHEREAS, the Code Compliance Officer has determined that the building located at , 4507 Devonshire Ave, 33-01-01-34-378-091, Lot 94 Pleasant Ridge Sub No 3, City of Lansing, Ingham County, Michigan, as recorded in Ingham County Records, is an unsafe or dangerous building as defined in Section 108.1 of the International Property Maintenance Code as adopted by Lansing Codified Ordinance 1460.01, and the Housing Law of Michigan, and the building was red tagged on JULY 5TH, 2017; and

WHEREAS, a hearing was held by a Lansing Demolition Hearing Officer on MARCH 24TH, 2026, at which the Hearing Officer determined that said building was an unsafe and dangerous building and ordered the building demolished or made safe by APRIL 24TH, 2026 and

WHEREAS, said Hearing Officer filed a report of their findings and order with the City Council and requested the City Council to take appropriate action under the Lansing Codified Ordinances and the Housing Law of Michigan; and

WHEREAS, the Housing Law of Michigan and Lansing Codified Ordinances require a hearing be conducted to give the property owner an opportunity to show cause why a dangerous structure should not be demolished or otherwise made safe; and

WHEREAS, the City Council held a public show cause hearing on June 22, 2026 to review the findings and the order of the Hearing Officer, and the owners were notified in writing of said hearing and had an opportunity to appear and show cause why said building should not be demolished or otherwise made safe; and

WHEREAS, the Office of Code Compliance has determined that compliance with the order of the Lansing Demolition Hearing Officer has not occurred.

NOW, THEREFORE, BE IT RESOLVED that the owner(s) of 4507 Devonshire Ave, as legally described above, are hereby directed to comply with the order of the Hearing Officer to demolish or otherwise make safe the said building within 60 days from the date of this resolution, August 10, 2026.

BE IT FURTHER RESOLVED that the property owner(s) is hereby notified that this order must be appealed within twenty days pursuant to MCL 125.542 and should the owners fail to comply with the Hearing Officer's order for demolition or make safe, the Code Compliance Officer is hereby directed to proceed with demolition of said building.

BE IT FURTHER RESOLVED, whether demolition is accomplished by said property owner or the City, that appropriate seeding and restoration of property take place to avoid run-off to adjacent properties.

BE IT FURTHER RESOLVED that if the demolition is accomplished by the City, the cost of such demolition shall be a lien against the real property and shall be reported to the City Assessor.

BE IT FINALLY RESOLVED that the owners in whose name the property appears upon the last local tax assessment record shall be notified by the City Assessor of the amount of such cost by first class mail at the address shown on the records. Upon the owner's failure to pay the same within thirty (30) days after mailing by the City Assessor of the notice of the amount thereof, the amount of said costs shall be a lien and shall be filed and recovered as provided by law and the lien shall be collected and treated in the same manner as provided for property tax liens under the general property tax act.



Chris Swope
Lansing City Clerk

June 7, 2026

Council President Spadafore,

My office has completed the canvass of the proposed City Charter Amendment; creation of Citizens' Advisory Healthcare Action Board that was submitted on July 6, 2026.

In completing that review of the approximately 7,385 signatures submitted, I have made a final determination that the petition contains 4,645 valid signatures, which is more than 5% of the registered voters of the City at the time the petition was submitted

Sincerely,

Chris Swope
Lansing City Clerk, MMC/MiPMC level 3

Lansing City Clerk's Office
Ninth Floor, City Hall, 124 W. Michigan Ave., Lansing, MI 48933-1695
517-483-4131 city.clerk@lansingmi.gov

Resolution #2026-###

Resolved by the City Council of the City of Lansing

WHEREAS, the Home Rule City Act allows for initiatory petitions to propose amendments to a City Charter if signed by at least 5% of the qualified and registered electors of the municipality; and

WHEREAS, Community Action Michigan submitted an initiatory petition to the City Clerk's Office on June 24, 2026 to amend the Lansing City Charter to mandate the creation of a Healthcare Action Plan; to establish a Citizens' Advisory Healthcare Action Board ("Citizens' Action Board") to create the Healthcare Action Plan and make recommendations to address healthcare costs and healthcare inaccessibility; to prescribe the powers and duties of the Citizens' Action Board; to prescribe the Citizens' Action Board's composition and organization; and to require the publication, a public overview, and adoption of the Healthcare Action Plan; and

WHEREAS, the City Clerk's Office has canvassed the petition signatures and found that a sufficient number of Lansing electors have signed the petition; and

WHEREAS, the full text of the proposal to add Chapter 7 to Article 5 of the Lansing Charter is as follows:

Chapter 7. CITIZENS' ADVISORY HEALTHCARE ACTION BOARD

5-701 CITIZENS' ADVISORY HEALTHCARE ACTION BOARD

.1 A Citizens' Advisory Healthcare Action Board ("Citizens' Action Board") is hereby created to prepare a Healthcare Action Plan and make recommendations to address prohibitive healthcare costs and healthcare inaccessibility in a biennial action plan.

.2 The health, safety, and welfare of the residents of the City of Lansing are served by regular, transparent, and public evaluation of healthcare affordability, accessibility, insurance and benefit coverage, and medical service availability. A recurring process for collecting public testimony, reviewing data, and evaluating policy impacts will assist the City and the jurisdiction's federal and state representatives in identifying barriers to healthcare access and in recommending effective responses. It is thus the purpose and intent of this Chapter to establish the Citizens' Action Board that will prepare a biennial Healthcare Action Plan and make recommendations to the City, and to provide a public process through which the public will be heard and needs assessed.

. 3 In making appointments to the Citizen's Action Board, the Mayor and Council should consider those residents who may have research, analytical, and community engagement skills helpful to execute the powers and duties

of the Citizens' Action Board and produce an Healthcare Action Plan, for example healthcare workers, uninsured or underinsured community members, public health professionals, patient advocates, and organized labor

5-702 POWERS & DUTIES

.1 A Healthcare Action Plan shall be developed by the Citizens' Action Board and presented to the City Council by October 1 of every even-numbered year. At a minimum, the Healthcare Action Plan shall set out:

(a) How healthcare affordability and accessibility, insurance and benefit coverage, and medical service availability have changed for City residents over the prior two years based on available population and public health data, hospital and other health care provider records, and public testimony;

(b) What federal, state, and local policy decisions and other factors have contributed to changes in healthcare affordability and accessibility, insurance and benefit coverage, and service availability;

(c) How federal and state elected officials who represent the City voted on relevant policies, including budgets and legislation, and the extent to which those actions and inactions were consistent with the prior Healthcare Action Plan; and

(d) Recommendations for concrete actions that the City and its federal and state representatives can take to improve healthcare affordability and accessibility, insurance and benefit coverage, and medical service availability.

.2 The Citizens' Action Board shall have the duty to:

(a) Hold multiple community forums each year for the purpose of hearing first-hand accounts of community members' ability to afford and access primary, emergency, and necessary specialty medical care, in compliance with open meeting and public records requirements;

(b) Hold multiple community forums each year for the purpose of hearing views on how federal, state, and local policy changes have impacted healthcare affordability, accessibility, and service availability, in compliance with open meeting and public records requirements;

(c) Compile data relevant to assessing the current state of healthcare affordability, accessibility, and service availability;

(d) Assess how federal, state, and local policies and recent policy changes have impacted healthcare affordability, accessibility, and service availability;

(e) Identify how the City's federal and state representatives voted on relevant policy decisions;

(f) Measure the City's federal and state representatives' actions or inactions against the prior Healthcare Action Plan; and

(g) Issue a Healthcare Action Plan that compiles its findings and makes recommendations.

.3 The Citizens' Action Board shall have the power to coordinate with researchers, research institutions, state and local agencies and departments, foundations, and consultants to assist in its assessments and the performance of its duties.

5-703 PUBLICATION AND ACTION PLAN MEETING

.1 No later than October 1 of every even-numbered year, the City Council shall publish the Citizens' Action Board's Healthcare Action Plan, recommendations, and all relevant research and findings in a manner that achieves broad public engagement. Minority members may append dissenting views to the published plan.

.2 No later than October 15 of every even-numbered year, the City Council shall hold a special meeting with the Citizens' Action Board to provide a public overview of the Healthcare Action Plan and to adopt a Healthcare Action Plan.

WHEREAS, it is necessary for the City Council to establish the ballot wording for the initiative;

NOW, THEREFORE BE IT RESOLVED,
that in accordance with the Home Rule City Act (MCL 117.1, et. seq.), the question shall be captioned and stated on the ballot as follows:

Citizens' Advisory Healthcare Action Board Charter Amendment

Shall the Lansing City Charter be amended to mandate the creation of a Citizens' Advisory Healthcare Action Board ("Citizens' Action Board") to create a Lansing Healthcare Action Plan and make recommendations to the community to address

healthcare costs and healthcare inaccessibility; to prescribe the powers and duties of the Citizens' Action Board; to prescribe the Citizens' Action Board's composition and organization; and to require the publication, a public overview, and implementation in the community of the Healthcare Action Plan?

YES (☐)

NO (☐)

BE IT FURTHER RESOLVED that the City Clerk is hereby directed and authorized to, in accordance with the Home Rule City Act (MCL 117.1, et. seq.), to transmit a copy of this resolution and roll call vote on it, along with a copy of the proposed amendment to the Governor of the State of Michigan for approval and a copy to the Attorney General of the State of Michigan for approval as to the form in which the proposal shall be presented to the electors.

BE IT FURTHER RESOLVED that the City Clerk is hereby authorized to cause the above proposal to be placed on the ballot at the election to be held on November 3, 2026.

BE IT FURTHER RESOLVED that the ballot wording is hereby certified to the City Clerk for submission to the City's electors at the election to be held on November 3, 2026.

BE IT FURTHER RESOLVED that the City Clerk is hereby directed to give notice of the election and notice of registration therefore in the manner prescribed by law and to do all things and to provide all supplies necessary to submit the ballot proposal to the vote of the electors as required by law.

BE IT FURTHER RESOLVED that in accordance with law, the City Clerk shall post the proposed Charter amendment in full at each polling place.

BE IN FINALLY RESOLVED that the canvass and determination of the votes of said question shall be made in accordance with laws of the State of Michigan and Charter of the City of Lansing.

Resolution #2026-###

By the Committee of the Whole
Resolved by the City Council of the City of Lansing

WHEREAS, the City Clerk has forwarded an application for a City License, which is ready for final action by City Council; and

WHEREAS, all required signatures have been obtained supporting the application for a fireworks display license.

NOW, THEREFORE, BE IT RESOLVED, the Lansing City Council, hereby, approves the application for a fireworks display license as follows:

FIREWORKS DISPLAY LICENSE:

Pyrotecnico Inc. for public display of fireworks in the City of Lansing Frances Park, 2701 Moores River Dr. to be held on Saturday, August 22, 2026.

Resolution #2026-###

By the Committee on City Operations
Resolved by the City Council of the City of Lansing

WHEREAS, a public hearing was held on Monday, August 10, 2026, in consideration of the request by Hoffman Bros. Inc., the construction contractor for the Ottawa Street Project, for issuance of a waiver of the noise ordinance on Saturdays from 8:00 AM to 4:30 PM for the period of August 29, 2026 through November 14, 2026; and

WHEREAS, the construction, which includes coordination with the Michigan House of Representatives' heated sidewalk installation project, is required to be complete prior to Silver Bells in the City; and

WHEREAS, for the period of August 29, 2026, through November 14, 2026 the construction contractor, Hoffman Bros. Inc., has requested a waiver of the noise ordinance on Saturdays from 8:00 AM to 4:30 PM; and

WHEREAS, the City of Lansing Public Service Department recommends that the contractor be granted the requested noise waiver in order to:

- Ensure that the project is completed prior to Silver Bells in the City
- allow the contractor to have the ability to work some Saturdays when necessary for completion of important work activities; and
- keep the project on-schedule based on rain days.

NOW THEREFORE BE IT RESOLVED that the City Council grant a waiver of the noise ordinance to Hoffman Bros. Inc. while the company is conducting work as part of the CSO Ottawa Street Project on Saturdays from 8:00 AM to 4:30 PM for the period of August 29, 2026, through November 14, 2026.

PASSAGE OF ORDINANCE

An ordinance of the City of Lansing, Michigan, to amend Title 8 of the Lansing Codified Ordinances to add a new Chapter 247, Sections 247.01 to 247.04 in order to transition existing City boards and commissions to the ward structure provided for by the current Charter.

Is read a second time by its title. The Ordinance was reported from the Committee of the Whole and is on the order of immediate passage.

COUNCIL MEMBER	YEA	NAY
Carter	☐	☐
Garza	☐	☐
Hussain	☐	☐
Kost	☐	☐
Martinez	☐	☐
Nevarez Martinez	☐	☐
Pehlivanoglu	☐	☐
Spadafore	☐	☐
TOTAL	_____	_____
☐ ADOPTED	☐ FAILED	

Immediate Effect	☐ Yes	☐ No
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ORDINANCE NO. _____

An ordinance of the City of Lansing, Michigan, to amend Title 8 of the Lansing Codified Ordinances to add a new Chapter 247, Sections 247.01 to 247.04 in order to transition existing City boards and commissions to the ward structure provided for by the current Charter.

THE CITY OF LANSING ORDAINS:

Section 1. That Title 8, Chapter 247 of the Codified Ordinances of the City of Lansing, Michigan, be and is hereby amended to read as follows:

CHAPTER 247. - TRANSITION OF EXISTING BOARD MEMBERS AND COMMISSIONERS

247.01 – Scope.

Pursuant to Sections 5-103.11, 5-107, and 9-205 of the Charter effective January 1, 2026 (“Current Charter”), this Chapter shall apply to the City of Lansing Arts and Culture Commission, the Board of Ethics, the Board of Fire Commissioners, the Board of Police Commissioners, the Board of Public Service, the Diversity, Equity, and Inclusion Advisory Board, the Human Relations and Community Services Advisory Board, the Park Board, and the Planning Commission (“Several Boards and Commissions”). During the effective period of this Chapter, other references to the appointment of members to these boards contained in this Code and the Charter are notwithstanding.

247.02 – Expiration of Terms of Appointments.

All members currently appointed to the Several Boards and Commissions shall continue in their present appointment. The term of office for those members currently appointed to the

1 **Several Boards and Commissions shall expire on June 30, 2029, or on the date of the**
2 **expiration of their original term of appointment, whichever occurs first. Any appointments**
3 **made to fill any vacancies to the Several Boards and Commissions shall be made pursuant**
4 **to Section 5-103.7 of the Current Charter, with the remaining term to expire no later than**
5 **June 30, 2029.**

6 **247.03 – Initial Appointments and Terms after Transition to Current Charter.**

7 **The Mayor shall file a list of appointments to the Several Boards and Commissions prior to**
8 **the first City Council meeting in May 2029 and the City Council shall act on each**
9 **appointment at or prior to its first meeting in June 2029.**

10 **The terms of office for the members of the Several Boards and Commissions shall**
11 **commence on July 1, 2029, and continue as provided for their first-appointed terms:**

12 **(1) The First and Fifth Ward members shall be appointed for one year.**

13 **(2) The Second Ward member shall be appointed for two years.**

14 **(3) The Third Ward member shall be appointed for three years.**

15 **(4) The Fourth Ward member shall be appointed for four years.**

16 **(5) The three at-large members shall be appointed for two, three, and four years**
17 **respectively.**

18 **247.04 – Subsequent Appointments.**

19 **Upon expiration of initial appointments, all subsequent members of the Several Boards and**
20 **Commissions of the City of Lansing shall be appointed for four-year terms.**

21 Section 2. All ordinances, resolutions or rules, parts of ordinances, resolutions or rules
22 inconsistent with the provisions are repealed.

Section 3. Should any section, clause or phrase of this ordinance be declared to be invalid, the same shall not affect the validity of the ordinance as a whole, or any part thereof other than the part so declared to be invalid.

Section 4. This ordinance shall take effect on the 14th day after enactment, unless given immediate effect by City Council.

Approved as to form:

City Attorney

Dated: _____

PASSAGE OF ORDINANCE

An ordinance of the City of Lansing, Michigan, to amend Chapter 248 of the Lansing Codified Ordinances to add a new Section 248.02 in order to transition existing Board of Water and Light members to the ward structure provided for by the current Charter.

Is read a second time by its title. The Ordinance was reported from the Committee of the Whole and is on the order of immediate passage.

COUNCIL MEMBER	YEA	NAY
Carter	☐	☐
Garza	☐	☐
Hussain	☐	☐
Kost	☐	☐
Martinez	☐	☐
Nevarez Martinez	☐	☐
Pehlivanoglu	☐	☐
Spadafore	☐	☐
TOTAL	_____	_____
☐ ADOPTED	☐ FAILED	
Immediate Effect	☐ Yes	☐ No

ORDINANCE NO. _____

An ordinance of the City of Lansing, Michigan, to amend Chapter 248 of the Lansing Codified Ordinances to add a new Section 248.02 in order to transition existing Board of Water and Light members to the ward structure provided for by the current Charter.

THE CITY OF LANSING ORDAINS:

Section 1. That Chapter 248 of the Codified Ordinances of the City of Lansing, Michigan, be and is hereby amended to read as follows:

248.02 - Transition of Existing Boardmembers.

(a) Expiration of Terms of Appointments.

Pursuant to Sections 5-103.11, 5-107, and 9-205 of the Charter effective as of January 1, 2026 (“Current Charter”), all members currently appointed to the Board of Water and Light by the Mayor and confirmed by City Council shall continue in their present appointment. The term of office for those members currently appointed and confirmed shall expire on June 30, 2029, or on the date of the expiration of their original term of appointment, whichever occurs first. Any appointments made to fill any vacancies to the Board of Water and Light shall be made pursuant to Section 5-103.7 of the Current Charter, with the remaining term to expire no later than June 30, 2029. During the effective period of this Section 248.02, other references to the appointment of members to the Board and Water of Light contained in this Code and the Charter are notwithstanding.

(b) Initial Appointments and Terms after Transition to Current Charter.

The Mayor shall file a list of appointments to the Board of Water and Light prior to the first City Council meeting in May 2029 and the City Council shall act on each appointment at or prior to its first meeting in June 2029.

(c) The terms of office for the members of the Board of Water and Light shall commence on July 1, 2029, and continue as provided for their first-appointed terms:

(1) The First and Fifth Ward members shall be appointed for one year.

(2) The Second Ward member shall be appointed for two years.

(3) The Third Ward member shall be appointed for three years.

(4) The Fourth Ward member shall be appointed for four years.

(5) The three (3) at-large members shall be appointed for two, three, and four years respectively.

(d) Subsequent Appointments.

Upon expiration of initial appointments, all subsequent members of the Board of Water and Light shall be appointed for four-year terms.

Section 2. All ordinances, resolutions or rules, parts of ordinances, resolutions or rules inconsistent with the provisions are repealed.

Section 3. Should any section, clause or phrase of this ordinance be declared to be invalid, the same shall not affect the validity of the ordinance as a whole, or any part thereof other than the part so declared to be invalid.

Section 4. This ordinance shall take effect on the 14th day after enactment, unless given immediate effect by City Council.

Approved as to form:

City Attorney

1
2

DRAFT # 6
DATE: April 22, 2026

Dated: _____

PASSAGE OF ORDINANCE

An ordinance of the City of Lansing, Michigan, to amend Chapter 266 of the Lansing Codified Ordinances to amend Section 266.01, remove Section 266.02, and renumber Section 266.03 in order to provide for an eight-member Arts and Culture Commission, in accordance with Section 5-103 of the Charter.

Is read a second time by its title. The Ordinance was reported from the Committee of the Whole and is on the order of immediate passage.

COUNCIL MEMBER	YEA	NAY
Carter	☐	☐
Garza	☐	☐
Hussain	☐	☐
Kost	☐	☐
Martinez	☐	☐
Nevarez Martinez	☐	☐
Pehlivanoglu	☐	☐
Spadafore	☐	☐
TOTAL	_____	_____
☐ ADOPTED	☐ FAILED	

Immediate Effect	☐ Yes	☐ No
------------------	------------------------------	-----------------------------

ORDINANCE NO. _____

An ordinance of the City of Lansing, Michigan, to amend Chapter 266 of the Lansing Codified Ordinances to amend Section 266.01, remove Section 266.02, and renumber Section 266.03 in order to provide for an eight-member Arts and Culture Commission, in accordance with Section 5-103 of the Charter.

THE CITY OF LANSING ORDAINS:

Section 1. That Chapter 266 of the Codified Ordinances of the City of Lansing, Michigan, be and is hereby amended to read as follows:

266.01. Establishment; powers and duties.

There is hereby established an Arts and Culture Commission in and for the City. **The appointment of members of the Arts and Culture Commission shall be in accordance with Section 5-103 of the Charter.** The Arts and Culture Commission shall:

(a) Make recommendations regarding all arts and cultural activities within the City of Lansing;

(b) Develop and recommend ongoing arts and culture performance measures and best practices;

(c) Fulfill all advisory board functions set forth in Section 5-106 of the City Charter.

~~266.02. Membership; terms; vacancies.~~

~~(a) The Arts and Culture Commission shall consist of 12 members who are registered electors of the City who are appointed by the Mayor, with the advice and consent of City Council.~~

~~(b) Members shall be appointed before July 1 of the year of appointment and shall serve until June 30 of the year in which their terms expire or until their successors qualify for office.~~

~~(c) Eight members shall be from the City at large and one member shall be appointed from each of the four wards.~~

~~(d) The terms of office for the members shall be four years, except for the following members first appointed terms:~~

~~(1) The First Ward member shall be appointed for one year.~~

~~(2) The Second Ward member shall be appointed for two years.~~

~~(3) The Third Ward member shall be appointed for three years.~~

~~(4) The Fourth Ward member shall be appointed for four years.~~

~~(5) At large members shall be appointed for one, two, three, and four years respectively.~~

~~(e) Thereafter, all subsequent Arts and Culture Commission members shall be appointed for four year terms.~~

~~(f) Vacancies shall be filled for the remainder of the unexpired term.~~

266.023. Rules of procedure; meetings; supply of facilities and services.

The Arts and Culture Commission shall organize itself pursuant to Section 5-105 of the Lansing City Charter, including the public notice and participation requirements therein and subject to the Open Meetings Act. The Office of the Mayor shall provide meeting space and such staff assistance as is reasonable and necessary to enable the Arts and Culture Board to carry out its duties.

Section 2. All ordinances, resolutions or rules, parts of ordinances, resolutions or rules inconsistent with the provisions are repealed.

Section 3. Should any section, clause or phrase of this ordinance be declared to be

invalid, the same shall not affect the validity of the ordinance as a whole, or any part thereof

other than the part so declared to be invalid.

Section 4. This ordinance shall take effect on the 14th day after enactment, unless given

immediate effect by City Council.

Approved as to form:

City Attorney

Dated: _____



Chris Swope

Lansing City Clerk

August 6, 2026

Members of the Lansing City Council
10th Floor City Hall
Lansing, MI 48933

Dear Councilmembers:

The Minutes from the Meetings of the following Boards, Commissions, and Authorities of the City of Lansing were placed on file in the City Clerk's Office and are available for review in the City Clerk's Office and at the following website: [Agendas & Minutes | Lansing, MI - Official Website \(lansingmi.gov\)](#)

BOARD NAME

DATE OF MEETING

Human Relations and Community Services Advisory Board June 23, 2026

Planning Commission May 6, 2026

Board of Water and Light May 19, 2026

If my staff or I can provide further assistance or information related to the filing of these minutes, please contact us at 483-4133.

Sincerely,

Chris Swope, MMC/MiPMC Level 3
Lansing City Clerk



Chris Swope
Lansing City Clerk

June 7, 2026

Council President Spadafore,

My office has completed the canvass of the proposed City Charter Amendment; creation of Citizens' Advisory Healthcare Action Board that was submitted on July 6, 2028.

In completing that review of the approximately 7,385 signatures submitted, I have made a final determination that the petition contains 4,645 valid signatures, which is more than 5% of the registered voters of the City at the time the petition was submitted

Sincerely,

Chris Swope
Lansing City Clerk, MMC/MiPMC level 3

Lansing City Clerk's Office
Ninth Floor, City Hall, 124 W. Michigan Ave., Lansing, MI 48933-1695
517-483-4131 city.clerk@lansingmi.gov

Resolution #2026-###

Resolved by the City Council of the City of Lansing

WHEREAS, the Home Rule City Act allows for initiatory petitions to propose amendments to a City Charter if signed by at least 5% of the qualified and registered electors of the municipality; and

WHEREAS, Community Action Michigan submitted an initiatory petition to the City Clerk's Office on June 24, 2026 to amend the Lansing City Charter to mandate the creation of a Healthcare Action Plan; to establish a Citizens' Advisory Healthcare Action Board ("Citizens' Action Board") to create the Healthcare Action Plan and make recommendations to address healthcare costs and healthcare inaccessibility; to prescribe the powers and duties of the Citizens' Action Board; to prescribe the Citizens' Action Board's composition and organization; and to require the publication, a public overview, and adoption of the Healthcare Action Plan; and

WHEREAS, the City Clerk's Office has canvassed the petition signatures and found that a sufficient number of Lansing electors have signed the petition; and

WHEREAS, the full text of the proposal to add Chapter 7 to Article 5 of the Lansing Charter is as follows:

Chapter 7. CITIZENS' ADVISORY HEALTHCARE ACTION BOARD

5-701 CITIZENS' ADVISORY HEALTHCARE ACTION BOARD

.1 A Citizens' Advisory Healthcare Action Board ("Citizens' Action Board") is hereby created to prepare a Healthcare Action Plan and make recommendations to address prohibitive healthcare costs and healthcare inaccessibility in a biennial action plan.

.2 The health, safety, and welfare of the residents of the City of Lansing are served by regular, transparent, and public evaluation of healthcare affordability, accessibility, insurance and benefit coverage, and medical service availability. A recurring process for collecting public testimony, reviewing data, and evaluating policy impacts will assist the City and the jurisdiction's federal and state representatives in identifying barriers to healthcare access and in recommending effective responses. It is thus the purpose and intent of this Chapter to establish the Citizens' Action Board that will prepare a biennial Healthcare Action Plan and make recommendations to the City, and to provide a public process through which the public will be heard and needs assessed.

. 3 In making appointments to the Citizen's Action Board, the Mayor and Council should consider those residents who may have research, analytical, and community engagement skills helpful to execute the powers and duties

of the Citizens' Action Board and produce an Healthcare Action Plan, for example healthcare workers, uninsured or underinsured community members, public health professionals, patient advocates, and organized labor

5-702 POWERS & DUTIES

.1 A Healthcare Action Plan shall be developed by the Citizens' Action Board and presented to the City Council by October 1 of every even-numbered year. At a minimum, the Healthcare Action Plan shall set out:

(a) How healthcare affordability and accessibility, insurance and benefit coverage, and medical service availability have changed for City residents over the prior two years based on available population and public health data, hospital and other health care provider records, and public testimony;

(b) What federal, state, and local policy decisions and other factors have contributed to changes in healthcare affordability and accessibility, insurance and benefit coverage, and service availability;

(c) How federal and state elected officials who represent the City voted on relevant policies, including budgets and legislation, and the extent to which those actions and inactions were consistent with the prior Healthcare Action Plan; and

(d) Recommendations for concrete actions that the City and its federal and state representatives can take to improve healthcare affordability and accessibility, insurance and benefit coverage, and medical service availability.

.2 The Citizens' Action Board shall have the duty to:

(a) Hold multiple community forums each year for the purpose of hearing first-hand accounts of community members' ability to afford and access primary, emergency, and necessary specialty medical care, in compliance with open meeting and public records requirements;

(b) Hold multiple community forums each year for the purpose of hearing views on how federal, state, and local policy changes have impacted healthcare affordability, accessibility, and service availability, in compliance with open meeting and public records requirements;

(c) Compile data relevant to assessing the current state of healthcare affordability, accessibility, and service availability;

(d) Assess how federal, state, and local policies and recent policy changes have impacted healthcare affordability, accessibility, and service availability;

(e) Identify how the City's federal and state representatives voted on relevant policy decisions;

(f) Measure the City's federal and state representatives' actions or inactions against the prior Healthcare Action Plan; and

(g) Issue a Healthcare Action Plan that compiles its findings and makes recommendations.

.3 The Citizens' Action Board shall have the power to coordinate with researchers, research institutions, state and local agencies and departments, foundations, and consultants to assist in its assessments and the performance of its duties.

5-703 PUBLICATION AND ACTION PLAN MEETING

.1 No later than October 1 of every even-numbered year, the City Council shall publish the Citizens' Action Board's Healthcare Action Plan, recommendations, and all relevant research and findings in a manner that achieves broad public engagement. Minority members may append dissenting views to the published plan.

.2 No later than October 15 of every even-numbered year, the City Council shall hold a special meeting with the Citizens' Action Board to provide a public overview of the Healthcare Action Plan and to adopt a Healthcare Action Plan.

WHEREAS, it is necessary for the City Council to establish the ballot wording for the initiative;

NOW, THEREFORE BE IT RESOLVED,
that in accordance with the Home Rule City Act (MCL 117.1, et. seq.), the question shall be captioned and stated on the ballot as follows:

Citizens' Advisory Healthcare Action Board Charter Amendment

Shall the Lansing City Charter be amended to mandate the creation of a Citizens' Advisory Healthcare Action Board ("Citizens' Action Board") to create a Lansing Healthcare Action Plan and make recommendations to the community to address

healthcare costs and healthcare inaccessibility; to prescribe the powers and duties of the Citizens' Action Board; to prescribe the Citizens' Action Board's composition and organization; and to require the publication, a public overview, and implementation in the community of the Healthcare Action Plan?

YES (☐)

NO (☐)

BE IT FURTHER RESOLVED that the City Clerk is hereby directed and authorized to, in accordance with the Home Rule City Act (MCL 117.1, et. seq.), to transmit a copy of this resolution and roll call vote on it, along with a copy of the proposed amendment to the Governor of the State of Michigan for approval and a copy to the Attorney General of the State of Michigan for approval as to the form in which the proposal shall be presented to the electors.

BE IT FURTHER RESOLVED that the City Clerk is hereby authorized to cause the above proposal to be placed on the ballot at the election to be held on November 3, 2026.

BE IT FURTHER RESOLVED that the ballot wording is hereby certified to the City Clerk for submission to the City's electors at the election to be held on November 3, 2026.

BE IT FURTHER RESOLVED that the City Clerk is hereby directed to give notice of the election and notice of registration therefore in the manner prescribed by law and to do all things and to provide all supplies necessary to submit the ballot proposal to the vote of the electors as required by law.

BE IT FURTHER RESOLVED that in accordance with law, the City Clerk shall post the proposed Charter amendment in full at each polling place.

BE IN FINALLY RESOLVED that the canvass and determination of the votes of said question shall be made in accordance with laws of the State of Michigan and Charter of the City of Lansing.

License Application



Fireworks Display

GENERAL INSTRUCTIONS

Click to Expand or Collapse

- It is highly recommended to have all the documents ready for uploading prior to submission.
- All attachments must be in a PDF format.
- PDF files should be compressed to the smallest size possible.
- If you need more time to get additional documents together, please save your application as a draft and come back to it when you are ready.
- Applications left open for more than 24 hours will need to be re-entered.
- If you have submitted the wrong document prior to submission of the application, or wish to update a document after submission of the application, please notify the Clerk's Office in writing at city.clerk@lansingmi.gov.
- It is the responsibility of the submitter to ensure they receive a confirmation email. If they do NOT receive an email with a confirmation number within 24 hours of submitting the application, it is the submitter's responsibility to notify the Clerk's Office in writing at city.clerk@lansingmi.gov.

PAYMENTS

Click to Expand or Collapse

- Payment fee must be RECEIVED by the Clerk's Office before the application will be reviewed. Failure to remit payment in a timely manner may result in denial of your application.
- Cash, Credit Card, Debit Card, Check, Electronic Check (ACH) & Money Order are accepted.
- Electronic Checks (ACH), Credit and Debit cards are accepted through the City's payment site. There is a 3% convenience fee for credit and debit card transactions.
- Link to the payment website will be provided in the confirmation email with your confirmation # for online payments. You will need your confirmation # to submit online payment only.

REQUIREMENTS

Click to Expand or Collapse

License fee: \$160.00 per Display

Application shall be made at least 30 business days before the proposed date of the use or display unless application within a shorter period of time is approved by the Fire Marshal.

Materials

Non-Refundable License fee of \$160

Treasury Form

Proof of an insurance policy naming the City as co-insured, available for the payment of any damages arising out of an act or omission of the licensee or his agents, employees, or subcontractors, covering the following:

- (a) At least \$500,000.00 for property damage; AND
- (b) at least \$500,000.00 for injury to one person and \$1,000,000.00 for injury to two or more persons resulting from the same occurrence.

Copies of State issued identification for each person who will operate the display.

If the applicant is a nonresident person, written appointment of a resident agent to serve as legal representative upon whom all process in an action or proceeding against the person may be served.

(City Codified Ordinances - Chapter 1615 Fireworks Ordinance)

BUSINESS INFORMATION

Business Name *	Doing Business As *	Business Phone *
Pyrotecnico Inc.	Pyrotecnico Inc.	(800) 771-7976
Business Address *		
299 Wilson Rd		
City *	State *	Zip Code *
New Castle	PA	16101

SUBMITTER INFORMATION

First Name *

Michael

Last Name *

Falk

Email *

mfalk@pyrotecnico.com

ADDRESS

Address 1 *

4369 E Summit Woods Dr NE

Address 2 (Apt, Unit, Suite, etc)

City *

Rockford

State *

MI

Zip *



49341

PHONE

Phone *

☒ Mobile ☐ Home ☐ Office

Mobile Phone *

(616) 427-0377

Insured by (Documentation Attached) *

Acrisure Great Lakes Partners Insurance Services

**Insurance
Amount ***

\$ 10,000,000.00

**Expiration
Date ***

11/28/2026

EVENT INFORMATION

Number of Displays *

1

Projected Fee *

\$ 160.00

Display Dates and Times *

8/22/2026

Explain dates/times of instances

Exact Location of Display*

Frances Park, 2701 Moores River Dr, Lansing MI 48911

Type and Quantity of Fireworks to be used in Display*

Approx. 1200 shells ranging from 1 1/4" to 3" diameter

Manner and location of the storage of the fireworks prior to the display*

No storage - Delivery on date of display

OPERATORS

List all Persons who will Operate the Display

Name*	Age*	Description of Relevant Experience*
Michael Falk	██████	36 years experience. 500+ shows in Michigan, Indiana, Illinois, Missouri, Texas, Florida, Nevada, California
Matthew Falk	██	32 years experience. 240+ shows in Michigan, Missouri, Florida, Illinois.
Jacob Boers	██	6 years experience. 35+ shows in Michigan and Texas

Law Violation*

Has the applicant, any person with an ownership interest in the applicant, or any person who will operate the display had any citation or conviction for, or guilty plea to, a violation of the laws of the United States, any State, or any local unit of government regulating the sale, use, or possession of fireworks? If yes, please include details

☐ Yes ☒ No

Upload Verification

Treasury Form.pdf

359.59KB

Upload Verification

COI.pdf

105.71KB

Upload Verification

additional insured endorsement.pdf

68.65KB

Upload Verification

Operator Driver Licenses.pdf

702.41KB

Methods for payment are listed at the top of this application under "**Payments.**" Processing this application will not proceed until payment is received.

Permit Fee

		Unit Price	Subtotal [*]
[*]	[*]		
Fireworks Display	✓ 1 Display	✓ \$ 160.00	\$ 160.00
TOTAL AMOUNT DUE			\$ 160.00

I confirm that the City of Lansing is shown as an additional insured party on BOTH the Insurance Endorsement AND Certificate of Insurance documentation.

Please Sign With Your Initials

Michael Falk

I certify that neither the Applicant nor any person with ownership interest is in default to the City of Lansing. By my signature, I swear (or affirm) that all information provided in this application is true. I understand that a false statement on this application may result in either a denial of this application or subsequent revocation if the license is granted.

*

I swear or affirm that all information provided in this application is true. I understand that a false statement on this application may result in either a denial of this application or subsequent revocation if the license is granted. Also, you agree and acknowledge that 1) your application will not be signed in the sense of a traditional paper document, 2) by signing in this alternate manner, you authorize your electronic signature to be valid and binding upon you to the same force and effect as a handwritten signature, and 3) you may still be required to provide a traditional signature at a later date.

☒ I Agree

I hereby certify that this application is complete and accurate to the best of my knowledge, information and belief. I understand that a false statement on this application may result in either a denial of this application or subsequent revocation if this license is granted..

Michael Falk

ACTIVITY LOG

ACTIVITY DATE	ACTIVITY BY	DEPARTMENT	ACTION	COMMENTS
07/20/2021	11:57	Michael Falk -		
07/21/2021	14:23	Scott, Tracy	Clerks	PROCESS

07/21/2021				
14:29	Diller, Melissa	Treasury	APPROVE	
07/21/2021				
14:41	Wright, Christ	Treasurer	APPROVE	
07/21/2021				
16:13	Hutchings, Me	LPD	APPROVE	
07/23/2021				
10:26	Nisch, Jared C	Fire	APPROVE	Approved with conditions- launch day inspection and approval by LFD Fire Inspector. - JCN
07/24/2021				
14:31	Staples, Matth	Attorney	APPROVE	
Date and time will be captured on form submission				
	Jackson, Briar	Clerks		

Final Decision *



Comments

Resolution #2026-###

By the Committee of the Whole
Resolved by the City Council of the City of Lansing

WHEREAS, the City Clerk has forwarded an application for a City License, which is ready for final action by City Council; and

WHEREAS, all required signatures have been obtained supporting the application for a fireworks display license.

NOW, THEREFORE, BE IT RESOLVED, the Lansing City Council, hereby, approves the application for a fireworks display license as follows:

FIREWORKS DISPLAY LICENSE:

Pyrotecnico Inc. for public display of fireworks in the City of Lansing Frances Park, 2701 Moores River Dr. to be held on Saturday, August 22, 2026.

Resolution #2026-###

By the Committee on Development and Planning
Resolved by the City Council of the City of Lansing

Resolution to Approve an Obsolete Property Rehabilitation Act Certificate
418 Baker Street, Lansing, Michigan

WHEREAS, pursuant to the Michigan Obsolete Property Rehabilitation Act, being Public Act 146 of 2000 (PA 146 of 2000), Ron Holdings, LLC, has filed an application for an Obsolete Property Rehabilitation Exemption Certificate (OPRA Certificate) with the Lansing City Clerk, for a proposed obsolete facility at 418 Baker Street Lansing, Michigan (Obsolete Property); and

WHEREAS, Ron Holdings, LLC (the Applicant) owns the proposed Obsolete Property; and

WHEREAS, the proposed Obsolete Property is located within an Obsolete Property Rehabilitation District legally established by resolution adopted April 20, 2026 after a public hearing was held on April 6, 2026, as provided by section 3 of PA 146 of 2000; and

WHEREAS, the taxable value of the property proposed to be exempt plus the aggregate taxable value of property already exempt under Public Act 146 of 2000 and under Public Act 198 of 1974 (IFT's) does not exceed 5% of the total taxable value of the City of Lansing; and

WHEREAS, a public hearing was held on _____ in order to provide an opportunity for the applicant, the City Assessor, a representative of the affected taxing units, the residents, and other taxpayers of the City of Lansing general public appear and be heard regarding the approval of the OPRA Certificate; and

WHEREAS, Ron Holdings, LLC has been certified in writing by the City of Lansing Treasurer to be not delinquent in any taxes related to the facility; and

WHEREAS, the application is for 12 years and under no circumstances or criteria will an extension of the exemption be considered; and

WHEREAS, the application is for obsolete property as defined in section 2(h) of Public Act 146 of 2000; and

WHEREAS, the applicant Ron Holdings, LLC has provided answers to all required questions under the application instructions to the City of Lansing; and

WHEREAS, the City of Lansing requires that rehabilitation of the facility shall be completed by August, 2027; and

WHEREAS, the commencement of the rehabilitation of the facility did not occur before the establishment of the Obsolete Property Rehabilitation District; and

WHEREAS, the application relates to a rehabilitation program that when completed constitutes a rehabilitated facility within the meaning of Public Act 146 of 2000 and that is situated within an Obsolete Property Rehabilitation District established in the City of Lansing eligible under Public Act 146 of 2000 to establish such a district; and

WHEREAS, completion of the rehabilitated facility is calculated to, and will at the time of issuance of the certificate, have the reasonable likelihood to, increase commercial activity, revitalize urban areas, create employment, retain employment, and increase the number of residents in the community in which the facility is situated; and

WHEREAS, the rehabilitation includes improvements aggregating 10% or more of the true cash value of the property at commencement of the rehabilitation as provided by section 2(l) of Public Act 146 of 2000.

NOW, THEREFORE, BE IT RESOLVED that the Lansing City Council hereby grants an Obsolete Property Rehabilitation Exemption for the real property, excluding land, located in an Obsolete Property Rehabilitation District at property located at 418 Baker Street Lansing, Michigan, legally described as:

418 Baker Street (Tax Parcel No. 33-01-01-21-429-051)

LOTS 1 & 2 EXC N 53.06 FT OF W 41 FT; BLOCK 1 AMENDED PLAT OF
HALL'S SOUTH SIDE ADD;

BE IT FINALLY RESOLVED that the City Clerk shall cause the Application for Obsolete Property Rehabilitation Certificate to be completed, including the "Clerk Certification" and shall file the completed application, together with a certified copy of this resolution with the State Tax Commission.

Application for Obsolete Property Rehabilitation Exemption Certificate

Issued under authority of Public Act 146 of 2000, as amended.

This application should be filed after the district is established. This project will not receive tax benefits until approved by the State Tax Commission. Applications received after October 31 may not be acted upon in the current year. This application is subject to audit by the State Tax Commission.

INSTRUCTIONS: File the completed application and the required attachments with the clerk of the local government unit. (The State Tax Commission requires two copies of the Application and attachments. The original is retained by the clerk.) See State Tax Commission Bulletin 9 of 2000 for more information about the Obsolete Property Rehabilitation Exemption. The following must be provided to the local government unit as attachments to this application: (a) General description of the obsolete facility (year built, original use, most recent use, number of stories, square footage); (b) General description of the proposed use of the rehabilitated facility, (c) Description of the general nature and extent of the rehabilitation to be undertaken, (d) A descriptive list of the fixed building equipment that will be a part of the rehabilitated facility, (e) A time schedule for undertaking and completing the rehabilitation of the facility, (f) A statement of the economic advantages expected from the exemption. A statement from the assessor of the local unit of government, describing the required obsolescence has been met for this building, is required with each application. Rehabilitation may commence after establishment of district.

Applicant (Company) Name (applicant must be the OWNER of the facility)		
Company Mailing Address (Number and Street, P.O. Box, City, State, ZIP Code)		
Location of obsolete facility (Number and Street, City, State, ZIP Code)		
City, Township, Village (indicate which)		County
Date of Commencement of Rehabilitation (mm/dd/yyyy)	Planned date of Completion of Rehabilitation (mm/dd/yyyy)	School District where facility is located (include school code)
Estimated Cost of Rehabilitation		Number of years exemption requested
Attach legal description of obsolete property on separate sheet.		
Expected Project Outcomes (Check all that apply)		
☐ Increase commercial activity	☐ Retain employment	☐ Revitalize urban areas
☐ Create employment	☐ Prevent a loss of employment	☐ Increase number of residents in the community in which the facility is situated
Indicate the number of jobs to be retained or created as a result of rehabilitating the facility, including expected construction employment. _____		
☐ Each year, the State Treasurer may approve 25 additional reductions of half the school operating and state education taxes for a period not to exceed six years. Check the box at left if you wish to be considered for this exclusion.		

APPLICANT CERTIFICATION

The undersigned, authorized officer of the company making this application certifies that, to the best of his/her knowledge, no information contained herein or in the attachments hereto is false in any way and that all of the information is truly descriptive of the property for which this application is being submitted. Further, the undersigned is aware that, if any statement or information provided is untrue, the exemption provided by Public Act 146 of 2000 may be in jeopardy.

The applicant certifies that this application relates to a rehabilitation program that, when completed, constitutes a rehabilitated facility, as defined by Public Act 146 of 2000, as amended, and that the rehabilitation of the facility would not be undertaken without the applicant's receipt of the exemption certificate.

It is further certified that the undersigned is familiar with the provisions of Public Act 146 of 2000, as amended, of the Michigan Compiled Laws; and to the best of his/her knowledge and belief, (s)he has complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the local unit of government and the issuance of an Obsolete Property Rehabilitation Exemption Certificate by the State Tax Commission.

Name of Company Officer (No authorized agents)	Telephone Number	Fax Number
Mailing Address	E-mail Address	
Signature of Company Officer (no authorized agents)	Title	

LOCAL GOVERNMENT UNIT CLERK CERTIFICATION

The Clerk must also complete Parts 1, 2 and 4 on page 2. Part 3 is to be completed by the Assessor.

Signature	Date Application Received	
FOR STATE TAX COMMISSION USE		
Application Number	Date Received	LUCI Code

LOCAL GOVERNMENT ACTION

This section is to be completed by the clerk of the local governing unit before submitting the application to the State Tax Commission. Include a copy of the resolution which approves the application and Instruction items (a) through (f) on page 1, and a separate statement of obsolescence from the assessor of record with the State Assessor's Board. All sections must be completed in order to process.

PART 1: ACTION TAKEN

Action Date

☐ Exemption Approved for _____ Years, ending December 30, _____ (not to exceed 12 years)

☐ Denied

Date District Established

LUCI Code

School Code

PART 2: RESOLUTIONS (the following statements must be included in resolutions approving)

A statement that the local unit is a Qualified Local Governmental Unit.

A statement that the Obsolete Property Rehabilitation District was legally established including the date established and the date of hearing as provided by section 3 of Public Act 146 of 2000.

A statement indicating whether the taxable value of the property proposed to be exempt plus the aggregate taxable value of property already exempt under Public Act 146 of 2000 and under Public Act 198 of 1974 (IFT's) exceeds 5% of the total taxable value of the unit.

A statement of the factors, criteria and objectives, if any, necessary for extending the exemption, when the certificate is for less than 12 years.

A statement that a public hearing was held on the application as provided by section 4(2) of Public Act 146 of 2000 including the date of the hearing.

A statement that the applicant is not delinquent in any taxes related to the facility.

If it exceeds 5% (see above), a statement that exceeding 5% will not have the effect of substantially impeding the operation of the Qualified Local Governmental Unit or of impairing the financial soundness of an affected taxing unit.

A statement that all of the items described under "Instructions" (a) through (f) of the Application for Obsolete Property Rehabilitation Exemption Certificate have been provided to the Qualified Local Governmental Unit by the applicant.

A statement that the application is for obsolete property as defined in section 2(h) of Public Act 146 of 2000.

A statement that the commencement of the rehabilitation of the facility did not occur before the establishment of the Obsolete Property Rehabilitation District.

A statement that the application relates to a rehabilitation program that when completed constitutes a rehabilitated facility within the meaning of Public Act 146 of 2000 and that is situated within an Obsolete Property Rehabilitation District established in a Qualified Local Governmental Unit eligible under Public Act 146 of 2000 to establish such a district.

A statement that completion of the rehabilitated facility is calculated to, and will at the time of issuance of the certificate, have the reasonable likelihood to, increase commercial activity, create employment, retain employment, prevent a loss of employment, revitalize urban areas, or increase the number of residents in the community in which the facility is situated. The statement should indicate which of these the rehabilitation is likely to result in.

A statement that the rehabilitation includes improvements aggregating 10% or more of the true cash value of the property at commencement of the rehabilitation as provided by section 2(l) of Public Act 146 of 2000.

A statement of the period of time authorized by the Qualified Local Governmental Unit for completion of the rehabilitation.

PART 3: ASSESSOR RECOMMENDATIONS

Provide the Taxable Value and State Equalized Value of the Obsolete Property, as provided in Public Act 146 of 2000, as amended, for the tax year immediately preceding the effective date of the certificate (December 31 of the year approved by the STC)

Building Taxable Value

Building State Equalized Value

\$

\$

Name of Government Unit

Date of Action Application

Date of Statement of Obsolescence

PART 4: CLERK CERTIFICATION

The undersigned clerk certifies that, to the best of his/her knowledge, no information contained herein or in the attachments hereto is false in any way. Further, the undersigned is aware that if any information provided is untrue, the exemption provided by Public Act of 2000 may be in jeopardy.

Name of Clerk

Telephone Number

Clerk Mailing Address

Mailing Address

Telephone Number

Fax Number

E-mail Address

Clerk Signature

Date

For faster service, email completed application and attachments to PTE@michigan.gov. An additional submission option is to mail the completed application and attachments to Michigan Department of Treasury, State Tax Commission, PO Box 30471, Lansing, MI 48909. If you have any questions, call 517-335-7491.



Andy Schor, Mayor

CITY ASSESSING OFFICE

Jennifer Czeiszperger, MMAO
Assessor's Office
3rd Floor City Hall
124 West Michigan Avenue
Lansing, Michigan 48933
(517) 483-7624
FAX: (517) 483-4101
www.lansingmi.gov/City-Assessor

February 10, 2024

Lansing Economic Development Corp

Re: Functional Obsolescence Determination
418 Baker Street
33-01-01-21-429-051



February 10, 2026, an inspection was performed of 418 Baker St to document the existence of any functional obsolescence. This two-story mixed-use building containing 3,623 square feet, was originally constructed in 1911 with an addition in the back of the building in 1954, with a basement and slab as a foundation. The layout and design of the ground floor is currently set up for retail/office space. The second floor has space for two residential one-bedroom apartments.

Aside from the significant deferred maintenance, the current layout and design are outdated and inefficient. It has steep narrow staircases, uneven floors, with non-ADA compliant bathrooms and public access points. The structural components of the foundation contain rough sawn timber for the load bearing support posts, which are outdated and have exceeded its useful life causing vertical cracking in the walls. Additionally, the HVAC, electrical, and plumbing systems are incomplete and the remaining parts of those systems are obsolete and will not support modern use. Additionally, it was observed that possible lead and asbestos materials exist in the mechanicals, flooring and walls.

Based on all the needed repairs, replacements, and remodeling it is determined that there is functional obsolescence that has a cost to cure that would exceed the added potential value to the property.



Jennifer Czeiszperger, MMAO
City Assessor's Office

Resolution #2026-###

By the Committee on Development and Planning
Resolved by the City Council of the City of Lansing

Resolution to Set a Public Hearing Regarding the Granting of an Obsolete Property Rehabilitation Act Certificate at 418 Baker Street, Lansing, Michigan

WHEREAS, Ron Holdings, LLC, owner of the property located at 418 Baker Street in the City of Lansing, Michigan (the "Property") has applied to the City of Lansing for the City to approve the issuance of an Obsolete Property Rehabilitation Exemption Certificate (the "OPRA Certificate"), pursuant to the Michigan Obsolete Property Rehabilitation Act, being Public Act 146 of 2000 (the "Act"); and

WHEREAS, the Property in question of the OPRA District located at 418 Baker Street, Lansing, Michigan, is legally described as:

418 Baker Street (Tax Parcel No. 33-01-01-21-429-051):

LOTS 1 & 2 EXC N 53.06 FT OF W 41 FT; BLOCK 1 AMENDED PLAT OF HALL'S SOUTH SIDE ADD; and

WHEREAS, the Act requires that before granting a Certificate the Lansing City Council hold a public hearing in order to provide an opportunity for the applicant, the City Assessor, a representative of the affected taxing units, the residents, and other taxpayers of the City of Lansing general public appear and be heard regarding the approval of the OPRA Certificate.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Lansing that a public hearing be held in the City Council Chambers of the City of Lansing, 10th Floor, Lansing City Hall, Lansing, Michigan, on Monday, _____ at 7:00 p.m. for the purpose of receiving public comment on the approval of an OPRA Certificate under the provisions of Public Act 146 of 2000 and that the Clerk shall publish once in a publication of general circulation within the community a notice of the scheduled public hearing and that the notice appear not less than 10 or more than 30 days prior to the date of the hearing.

**CITY OF LANSING
NOTICE OF PUBLIC HEARING**

The Lansing City Council will hold a public hearing on **Monday, [INSERT DATE], 2026**, at 7:00 p.m. in the Tony Benavides City of Lansing Council Chambers, Tenth Floor, Lansing City Hall, 124 West Michigan Ave. Lansing, MI 48933, for the purpose stated below:

To afford an opportunity for all residents, taxpayers of the City of Lansing, City Assessor, other interested persons and ad valorem taxing units to appear and be heard on the approval of an Obsolete Property Rehabilitation Certificate (the "Certificate"), pursuant to and in accordance with the provisions of the Obsolete Property Rehabilitation Act, Public Act 146 of 2000, for property located at 418 Baker Street in the City of Lansing, Michigan, legally described as:

418 Baker Street (Tax Parcel No. 33-01-01-21-429-051):

LOTS 1 & 2 EXC N 53.06 FT OF W 41 FT; BLOCK 1 AMENDED PLAT OF
HALL'S SOUTH SIDE ADD;

Approval of this Certificate will allow the owners of real property within the District to apply for an abatement of certain property taxes for the improvements to their property located within the District. Further information regarding this issue may be obtained from Kris Klein, President & CEO, Lansing Economic Development Corporation (LEDC), 401 S. Washington Sq. Suite 101, Lansing, MI 48933, (517) 599-1136.

For more information, please call 517-483-4177. If you are interested in this matter, please attend the public hearing or send a representative. Written comments will be accepted between 8 a.m. and 5 p.m. on City business days if received before 5 p.m., on the day of the Public Hearing at the City Clerk's Office, Ninth Floor, City Hall, 124 West Michigan Ave., Lansing, MI 48933 or email city.clerk@lansingmi.gov.

Chris Swope, Lansing City Clerk, MMC/CMMC
www.lansingmi.gov/Clerk
www.facebook.com/LansingClerkSwope

Resolution #2026-###

By the Committee on City Operations
Resolved by the City Council of the City of Lansing

Act-5-2026, 200 block South Grand Avenue, Use of Right-of-Way and Use of Air Rights

WHEREAS, New Vision Lansing LLC has requested to utilize the South Grand Avenue right-of-way to place a parking deck connecting their 28-story Grand Tower building located on 217 South Grand Avenue and their six-story parking ramp located on 211 South Washington Avenue; and

WHEREAS, New Vision Lansing LLC has requested use of the right of way to place foundation columns for the parking deck; and

WHEREAS, the foundation and caisson footings will extend between 1.33 feet and 5.30 feet into South Grand Avenue; and

WHEREAS, New Vision Lansing LLC has requested use of air rights adjacent to their 211 South Washington Avenue and 217 South Grand Avenue properties for the placement of their amenity parking deck; and

WHEREAS, the amenity deck will span 133.6 feet (north-south) by 82.5 feet (east-west), be 31 feet above grade, and the use of air rights will extend 285 feet from grade; and

WHEREAS, the amenity deck is not expected to negatively impact the street circulation network, the pedestrian experience downtown, or downtown businesses; and

WHEREAS, on August 5, 2026, the Planning Commission reviewed the location, character, and extent of the proposal in accordance with its Act 33 Review procedure, and voted unanimously (4-0) to recommend approval of Act-5-2026, 200 block South Grand Avenue, Use of Right-of-Way and Use of Air Rights; and

WHEREAS, the Committee on Development and Planning has reviewed the report and recommendation of the Planning Commission and concurs therewith;

NOW THEREFORE BE IT RESOLVED, the Lansing City Council hereby approves Act-5-2026, and approves the use of foundation encroachments into South Grand Avenue legally described as:

A Building Foundation Easement, being located over that part of S. Grand Avenue, adjacent to the East line of Block 114, Original Plat of the Town of Michigan (Now City of Lansing), according to the plat there of, as recorded in Liber 2 of Plats, Page 36, described as COMMENCING at the Southeast corner of Lot 6, said Block 114; thence North 00 degrees 32 minutes 52 seconds East, 1.33 feet along the East line of said Block 114 to the POINT-OF-BEGINNING; thence continuing North 00 degrees 32 minutes 54 seconds East, 259.31 feet along said East line; thence South 89 degrees 27 minutes 06 seconds East, 4.80 feet, perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 15.30 feet; parallel with said East line; thence North 89 degrees 27 minutes 06 seconds West,

3.46 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 23.21 feet parallel with said East line; thence South 89 degrees 27 minutes 06 seconds East, 3.96 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 7.00 feet parallel with said East line; thence North 89 degrees 27 minutes 06 seconds West, 3.96 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 29.73 feet parallel with said East line; thence South 89 degrees 27 minutes 06 seconds East, 3.83 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 10.83 feet parallel with said East line; thence North 89 degrees 27 minutes 06 seconds West, 3.83 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 33.22 feet parallel with said East line; thence South 89 degrees 27 minutes 06 seconds East, 3.96 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 7.43 feet parallel with said East line; thence North 89 degrees 27 minutes 06 seconds West, 3.96 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 132.58 feet parallel with said East line; thence North 89 degrees 27 minutes 06 seconds West, 1.33 feet perpendicular to said East line to the POINT-OF-BEGINNING. Containing 499 square feet, more or less; subject to all easements and restrictions, if any.

BE IT FURTHER RESOLVED, the Lansing City Council hereby approves the use of air rights spanning 133.6 feet by 82.5 feet along the 200 block of South Grand Avenue, and extending 285 from grade above the right of way legally described as:

An Aerial Building Easement, being located over that part of Grand Avenue lying between Block 113 & Block 114, Original Plat, City of Lansing, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 2 of Plats, Page 36, Ingham County Rounds. This easement is vertically located between its lower limit of at an elevation of 865.00 feet and its upper limit at an elevation of 1150.00 feet, noted elevations are referenced to the North American Vertical Datum of 1988 (NAVD88); Said easement is further described as: BEGINNING at the Southwest corner of Lot 2, of said Block 113; thence South 00 degrees 32 minutes 54 seconds West, along the Westerly line of said block 133 and the Easterly line of Grand Avenue, 133.60 feet; thence North 89 degrees 27 minutes 06 seconds West, 82.50 feet to the Easterly line of said Block 114 and the Westerly line of Grand Avenue; thence North 00 degrees 32 minutes 54 seconds East, along said Easterly line of said Block 114 and Westerly line of Grand Avenue, 133.60 feet; thence South 89 degrees 27 minutes 06 seconds East, 82.50 feet to the POINT-OF-BEGINNING; subject to all easements and restrictions, if any.

BE IT FINALLY RESOLVED, that the Mayor, on behalf of the City, is hereby authorized to sign and execute all documents to complete this transaction, subject to prior approval as to content and form by the City Attorney.

**Department of Economic
Development and Planning**
Rawley Van Fossen, Director



Andy Schor, Mayor

Planning & Zoning Office
316 N. Capitol Avenue, Suite D-1
Lansing, Michigan 48933
PH: 517.483.4066
www.lansingmi.gov/planning

Act-5-2026
200 Block South Grand Avenue
Use of Right-of-Way, Use of Air Rights

At its August 5, 2026 meeting, the Planning Commission voted 4-0 to recommend approval of Act-5-2026. This is a request to grant use of right-of-way and use of air rights for the 200 block of S Grand Ave. to New Vision Lansing LLC, to facilitate the construction of an amenity parking deck. The design requires foundation columns in the right of way due to construction constraints and load requirements. The foundation and columns will project up to 1.33' to 4.8' into the right-of-way. The resulting sidewalk design will still allow clear passage of at least seven feet in width.

The proposed street design of S Grand Ave. will maintain one south travel lane, one turn lane, and one north travel lane. Final street design will be subject to the Public Service Department's approval.

Given the nature of the site with no existing commercial/retail businesses along S Grand Ave. and the residential nature of New Vision Lansing development with hundreds of new Downtown residents that will live, shop, and enjoy Downtown businesses, the proposed amenity deck is not expected to have a measurable adverse impact on the street-level commercial activity or vitality of the surrounding area.

No public hearing is required for Planning Commission Act 33 review. The Planning and Zoning Office staff recommended approval.

**Act-5-2026, 200 block S Grand Avenue, Use of Right of Way and Air Rights –
STAFF REPORT**

An Act 33 Review is a planning level review of the **location, character, and extent** of public improvements and City property transactions. Act 33 Reviews are conducted by the City of Lansing pursuant to the provisions of the Michigan Planning Enabling Act (P.A. 33 of 2008) and Section 208 of the Lansing Code of Ordinances.

APPLICANT	New Vision Lansing LLC
PROPOSAL:	Use of right-of-way for building encroachments and use of sky rights for parking deck over S Grand Avenue.
PARCEL(S):	n/a; 200 block South Grand Avenue
CURRENT OWNER(S):	City of Lansing 124 W Michigan Ave. Lansing, MI 48933
EXISTING LAND USE & ZONING:	Use: Street right of way Zoning: n/a
PROPERTY SIZE AND SHAPE:	133.6' x 82.5'
SURROUNDING ZONING & LAND USE	North: DT-3, parking ramp, vacant South: DT-3, office, parking West: DT-3, commercial East: DT-3, New Vision Lansing Grand Tower

ANALYSIS

BACKGROUND:

New Vision Lansing LLC has commenced on the construction of a 28-story skyscraper at 217 S Grand Ave. with an accompanying six-story parking ramp across the street on the 211 S Washington Ave. parcel. The applicant has proposed a parking deck spanning the 200 block of S Grand Ave. right of way to connect the two structures (use of air rights). As proposed, construction of the parking deck will require placing foundation columns, which will carry the load of the parking deck, within the right of way (use of right of way). The applicant would locate private parking spaces and private residential amenities for use of their tenants and customers within this parking deck space (“amenity deck”).

From the applicant:

“NVL has explored fully post-tensioned spans and mid-span supported double-tee and post-tensioned designs. A mid-span support would allow all columns to be located on NVL property but would require significantly more difficult coordination with underground

**Act-5-2026, 200 block S Grand Avenue, Use of Right of Way and Air Rights –
STAFF REPORT**

utilities at the center of Grand Avenue. Based on our understanding of the features below the center of Grand Avenue, this method is untenable.

The fully post-tensioned bridge design did not significantly increase span capacity and added substantial costs to the bridge assembly. NVL also designed and priced a simple walkover bridge. It was analyzed with both a post-tensioned amenity bridge above, a double-t bridge above, and no bridge above. After estimating additional costs for utilities, insulation, enclosure, glazing, and additional structural changes, the walk over bridge actually increased total installed costs, did not remove the caissons or foundations from the Right of Way, and would have resulted in the loss of Tower amenity space or parking. In the case of parking, these spaces would have need relocation to the main parking structure increasing costs on that structure.”

The amenity deck will start 31 feet above grade and is proposed to have one level of parking, with private residential amenities on the roof top. This will change some aspects of the right of way design at grade level. The foundation columns will result in 8.8’ to 9’8’ wide sidewalks at the narrowest points, which is narrower than the preferred 10 feet, but more than the standard seven feet or ADA compliant five feet. Three street tree planting wells will be removed. The trees they would have must be replanted in the nearby vicinity, as determined by the Forestry Division. I recommend that the applicant be required to install red bricks within the sidewalk to match the pattern installed Downtown. To maintain clear pedestrian travel, traditional street lights are not recommended for installation in the sidewalk area, but on the walls and ceiling of the parking ramp and amenity deck. A photometric plan will be reviewed and approved by Lansing Board of Water and Light (BWL) and City staff. I recommend that the applicant install dynamic lighting sensors to control lighter light levels during the day and brighter light levels at night to assist visibility, with BWL and City staff approval.

For street design, there will be two travel lanes (one north, one south) and one turn lane. It is the City’s goal to have space for bike lanes within the ROW. The current proposed configuration would not result in the removal of any on-street parking spaces from the S Grand Ave. ROW or the E Washtenaw St. ROW. Final street design is subject to Public Service Department approval. Per previous statements made to City Council, no off-street parking spaces will be permitted for public parking, unless otherwise renegotiated by the City.

Miscellaneous:

- The amenity deck will be required to be inspected by a third party on a regular basis, to be determined. Inspection reports will be submitted to the City.
- The applicant shall be responsible for all upkeep and maintenance of the amenity deck for life of amenity deck and those costs associated with street closure, if ever required for such maintenance or repairs.

**Act-5-2026, 200 block S Grand Avenue, Use of Right of Way and Air Rights –
STAFF REPORT**

- The City and BWL shall be allowed to close S Grand Ave. access to the parking ramp or Grand Tower entrances if street/utility work is ever required
- The City shall maintain any current utilities or other easements in the ROW, and shall be allowed to enter into any other utility, license, or easement agreement within the subject ROW, with any provider during the life of the amenity deck.
- Any fenestration in the amenity deck architecture shall be enclosed or otherwise screened by damage-resistant materials so that items cannot be thrown or dropped onto the street.
- The City will require a one-time fee to permit the use of the ROW and the use of air rights as determined by the square footage of the amenity deck's floor area. These fees will be reviewed by City Council.
- The amenity deck will be included in the assessment of the 211 S Washington Ave. property for property tax purposes.
- I recommend prohibition of any signage, advertisement, or other branding on the amenity deck except for any reasonable wayfinding sign or required City of Lansing or other traffic control signs. The applicant shall be responsible for the installation of any required traffic or governmental sign.
- The expected lifespan of the amenity deck is 50-100 years, but the applicant has stated it should be closer to 100 years, with proper and regular inspections and maintenance.
- The agreement shall include a reverter clause returning all use rights of the right-of-way back to the City in the event of removal of the foundation columns or amenity deck.

Although skywalks are generally discouraged as an urban planning practice because they can divert pedestrian activity from street level and reduce visibility for ground-floor businesses, the context of this proposal is distinguishable. The proposed amenity deck is in an area with substantial surface parking lots immediately to the north and south. The 100, 200, and 300 blocks of South Grand Avenue do not have any active commercial storefronts that would be adversely affected by the elevated connection. The amenity deck will serve the residents of New Vision Lansing units, rather than office workers or visitors as is typical for other skywalks where travel to a singular destination competes with local retail and service. These everyday residents will still likely visit Downtown businesses as a matter of course.

Unlike other communities with extensive skywalk networks, Lansing has only one other skywalk (Lansing Center), thus this proposal is not anticipated to contribute to a broader system that shifts pedestrian activity away from the public realm. Given the site's existing conditions, the proposed skywalk is unlikely to have a measurable adverse impact on street-level commercial activity or the vitality of the surrounding area. The residential scope of New Vision Lansing will result in hundreds of new residents downtown that will support Washington Avenue businesses.

LOCATION:

**Act-5-2026, 200 block S Grand Avenue, Use of Right of Way and Air Rights –
STAFF REPORT**

Use of right of way: four foundation columns will be located ~1.34' to 5.17' into the west side of the S Grand Ave. right of way. These columns will still be at least 8.8' to 9.8' from the street curbs allowing for ADA compliant sidewalks. See Exhibit A.

Five corresponding columns will be along east of S Grand Ave. but within the applicant's property – not within the right-of-way, and thus not part of this request.

Use of air rights: This section of right of way stretches 133.6 feet along the 200 block of S Grand Ave.

See Aerial.

CHARACTER:

The proposed amenity deck would span 133.6' x 82.5', 31 feet over S Grand Ave. with one level of parking and a roof-top level with amenities for the residents of New Vision Lansing properties. The City will approve the architecture of the amenity deck during site plan review.

EXTENT:

The use of right of way will extend 133.6 feet along S Grand Ave. and 82.5 feet in width. The use of air rights will extend 285 feet in height from grade.

AGENCY REFERRALS

Lansing Board of Water and Light (BWL)

- Comments not received in time for Planning Commission. BWL is aware of proposal and utility/lighting needs.

Public Service Department:

[Dan Danke, Engineer]

- There are four columns whose foundations will encroach between 4.80' and 5.29' into the ROW.
 - The columns above ground will encroach 3.05' into the ROW (typ., from the site plan).
- There is an encroachment of 1.33 into the ROW for foundation purposes.
- The proposed development does not change the width and grade of the existing roadway. The drop off/parking lane on the east side was approved in the site for the 23-floor tower.
- The column encroachments will impact the pedestrian access route. This may require adjustments in the brickscape to allow a 7-foot wide, 2% cross-slope, smooth route. Revisions in the streetscape will be reviewed and approved in the site plan process.
- The bottom of the parking/amenity deck will be approximately 31 feet over the road surface.
- There are numerous sanitary and storm leads that service the properties where the parking deck is to be built. They shall be properly capped off.

**Act-5-2026, 200 block S Grand Avenue, Use of Right of Way and Air Rights –
STAFF REPORT**

- The developer shall verify there are no utilities within the encroachments. It is recommended that Planning Department notify the utilities of the proposed encroachment. Per State law, utilities have a right to be in the public ROW, but the City can direct their location.
- It is recommended that the developer mill and resurface Grand Avenue between Allegan Street and Washtenaw Street upon completion of the amenity deck. This would include new pavement markings. This should be done under a Letter of Intent.
- The 4” curb and gutter in front of the former Hacks Key shop (222 S Grand) shall be replaced with full-height (6”) curb and gutter.
- The parking/amenity deck shall be inspected, at a maximum, every two years. This matches the federal and state requirements for bridge inspection. Any recommendations and action items identified shall be corrected promptly.
 - If the structure becomes unsafe, the owner shall be responsible for its removal.
- A reverter clause should be included if the ROW is no longer being used for parking/amenity deck.

STAFF RECOMMENDATION

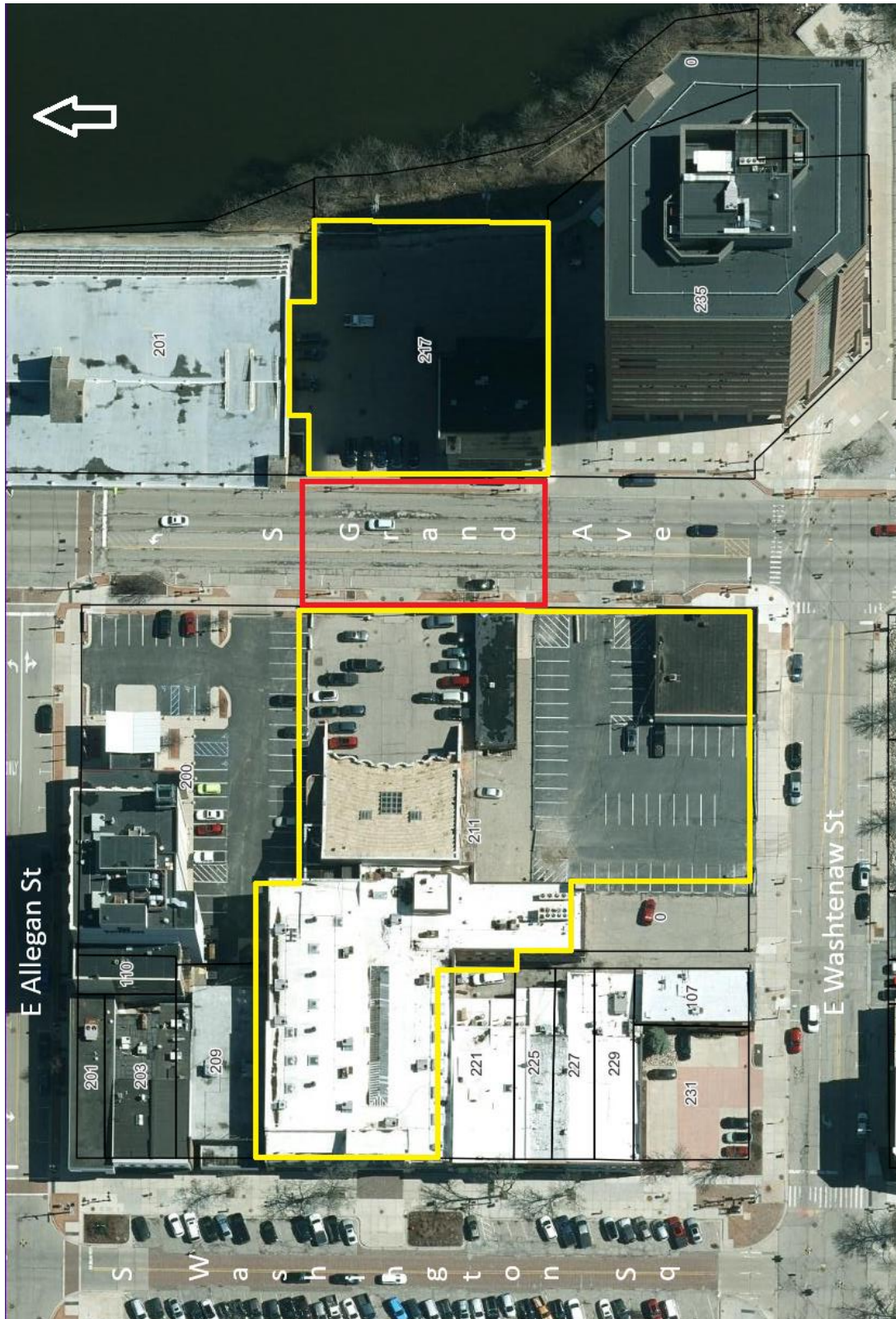
Staff recommends approval of Act-5-2026, on the basis that the amenity deck is not expected to draw potential customers away from Downtown businesses, negatively impact the pedestrian experience, or negatively impact the street design of S Grand Ave. All fees, requirements, and terms will be negotiated with the Administration.

Respectfully submitted,

Andy Fedewa, Planner

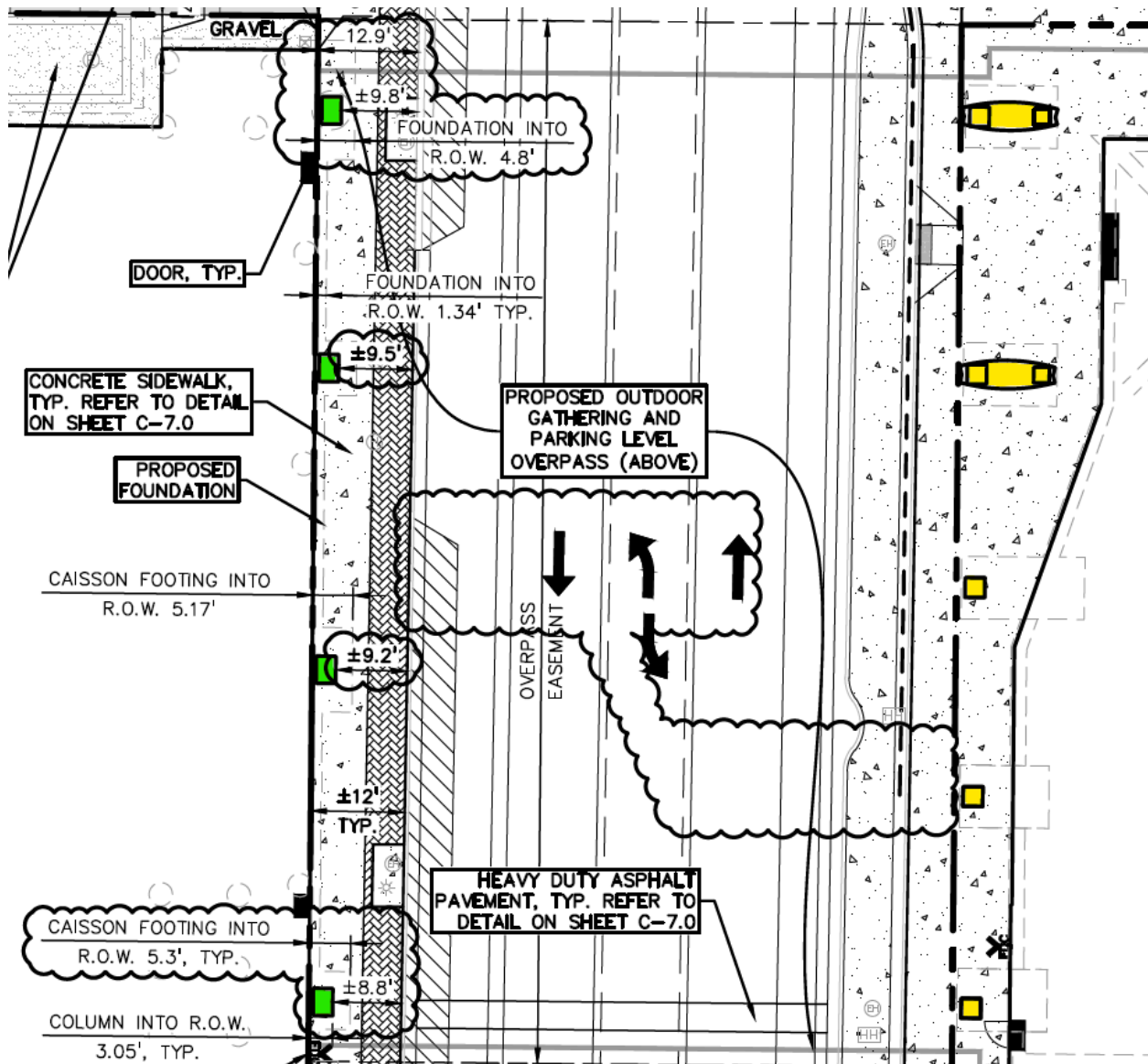
Act-5-2026, 200 block S Grand Avenue, Use of Right of Way and Air Rights –
STAFF REPORT

Aerial:



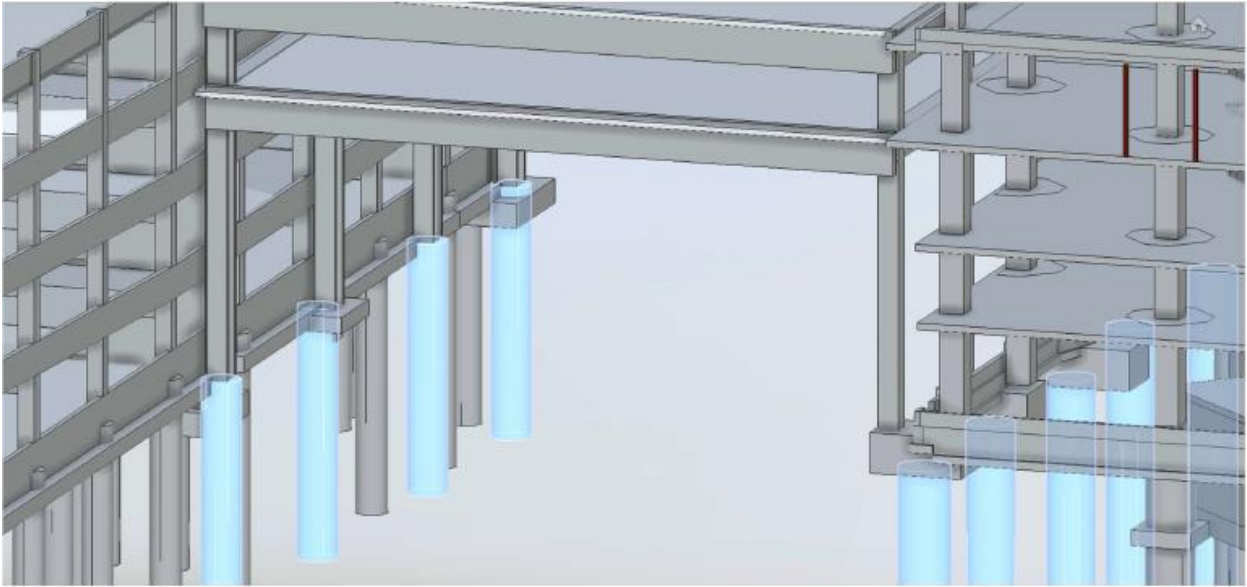
Act-5-2026, 200 block S Grand Avenue, Use of Right of Way and Air Rights –
STAFF REPORT

Exhibit A



**Act-5-2026, 200 block S Grand Avenue, Use of Right of Way and Air Rights –
STAFF REPORT**

Exhibit B:



**Act-5-2026, 200 block S Grand Avenue, Use of Right of Way and Air Rights –
STAFF REPORT**

Exhibit C:



Note: Some adjacent structures removed for clarity.

**Act-5-2026, 200 block S Grand Avenue, Use of Right of Way and Air Rights –
STAFF REPORT**





6-12-26

Dan Danke
Public Service Department
Engineering Division
124 West Michigan Ave
Lansing, MI 48933

Mr. Danke,

This letter is responsive to your comments regarding the Public Act 33 Application (PA33) submitted by Eric Iversen of PEA Group. We appreciate the thorough nature of your review, and we would like to respond individually to your comments.

- *No justification was provided for why the foundation needs to be in the Public ROW and not on private property.*
 - *There are four columns whose foundations will encroach between 4.80' and 5.29' into the ROW.*
 - *The columns above ground will encroach 3.05' into the ROW (typ., from the site plan).*
 - *There is an encroachment of 1.33 into the ROW for foundation purposes.*

The four columns shown as an encroachment into the ROW are in that location specifically to support the beam carrying the amenity/parking bridge. Given the spans involved, we are approaching the limits of what can be accomplished with free span double-t sections. This method, its limitations, and column location were described to City of Lansing officials in our initial kick-off meeting.

New Vision Lansing has made considerable effort to avoid a more detailed PA33 request, and to avoid disturbing Grand Avenue. NVL has explored fully post-tensioned spans and mid-span supported double-tee and post-tensioned designs. A mid-span support would allow all columns to be located on NVL property but would require significantly more difficult coordination with underground utilities at the center of Grand Avenue. Based on our understanding of the features below the center of Grand Avenue, this method is untenable.

The fully post-tensioned bridge design did not significantly increase span capacity and added substantial costs to the bridge assembly. NVL also designed and priced a simple walkover bridge. It was analyzed with both a post-tensioned amenity bridge above, a double-t bridge above, and no bridge above. After estimating additional costs for utilities, insulation, enclosure, glazing, and additional structural changes, the walk over bridge actually increased total installed costs, did not remove the caissons or foundations from the Right of Way, and would have resulted in the loss of Tower amenity space or parking. In the case of parking, these spaces would have need relocation to the main parking structure increasing costs on that structure.

Prior to placing the structural system, NVL also reviewed the similar case of the House Office Building (124 N. Capitol Ave) and its span over Ottawa. In this case, the placement of the columns has been permitted in the ROW likely for similar reasons. However, NVL would point out that its plan keeps the columns closer to the property line.



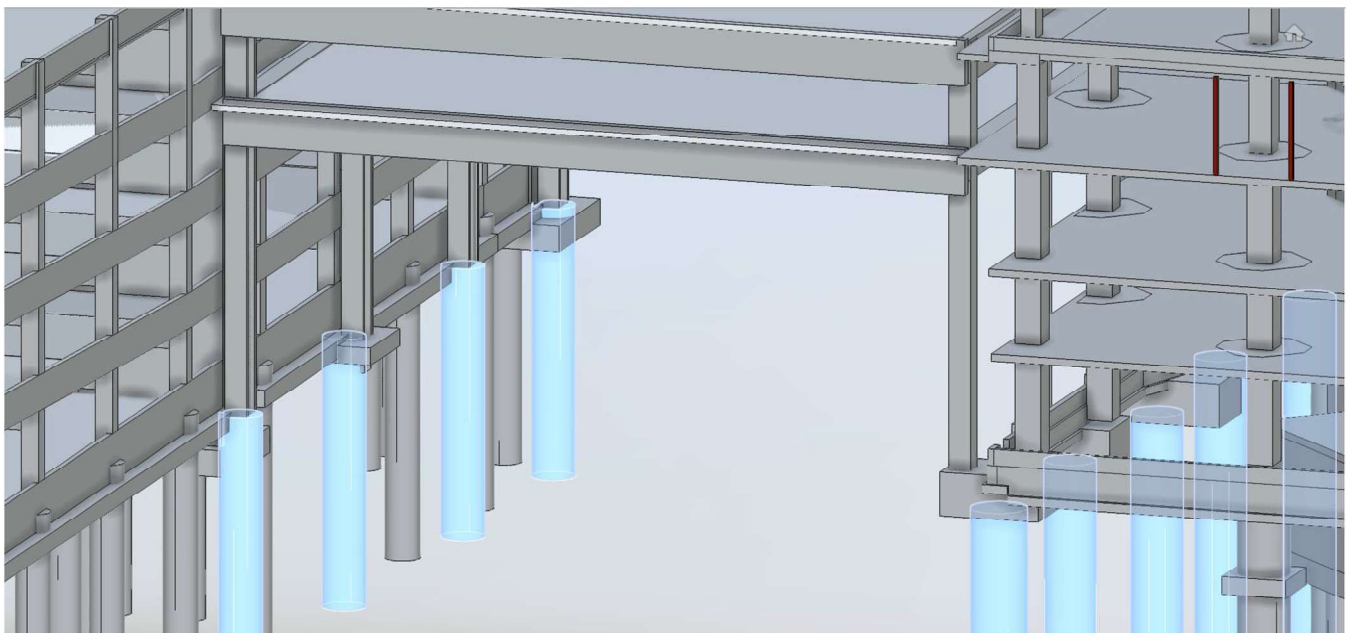
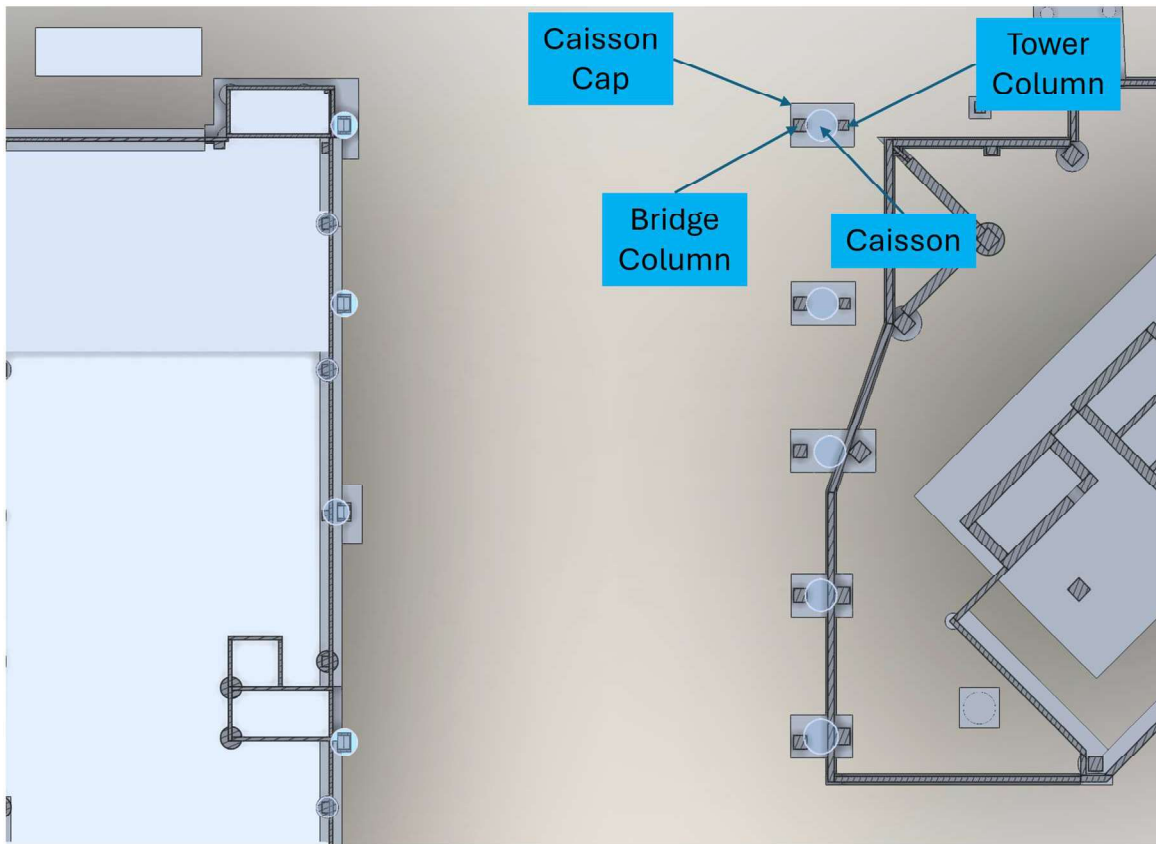
The arrangement of columns, and more importantly caissons proposed by NVL is the most space, cost, and time efficient method possible given the parameters involved.

On the East side of Grand Ave, the columns are located as close to the property line as possible and share a column cap with the adjacent Tower column. On the West side of Grand Ave, the caisson is also capped to carry multiple loads. In some cases, the bridge column load is shared (over the cap) with the stair cores, in others it is shared with an adjacent garage column.

The caisson caps have been reduced to the lowest size possible on the West side of Grand Ave to limit the incursion into the ROW. The foundation encroachment only occurs on one side of the parking structure site, East. The positioning of the garage on the site is dictated by the location of the existing LBWL electrical vault that serves the Atrium Office Center and Davenport University. Relocating the vault would require significant effort and expense and would deprive the Atrium and Davenport of power for a significant time. Even reducing the space to the vault to 0 would not solve the problem as there would then be no way to fully develop the foundation line adjacent to the vault.

Regarding the geometry of the East strip foundation incursion into the ROW. The foundation placement is dictated by the requirement to resist the overturning force of a vehicle impact with the crash wall at the edge of the deck. The structural integrity of the crash wall at ground level is paramount to pedestrian safety on the West side of Grand Avenue.

The following page shows the Tower on Grand Design structural design model highlighting the caisson system and showing the constituent components of the caisson, cap, and column system.



(continued)



SITE DATA TABLE:

TOTAL SITE AREA: 1.49 ACRES

ZONING: DT-4 DOWNTOWN CORE

BUILDING INFORMATION:

- MAXIMUM ALLOWABLE BUILDING HEIGHT = 6 STORIES, 61 FEET
- PROPOSED BUILDING HEIGHT = 6 STORIES, 61 FEET
- BUILDING GROUND FLOOR AREA = 30,827 SF.
- TOTAL BUILDING FLOOR AREA (OUTSIDE ROW) = 184,962 SF.
- NEW BUILDING GROUND FLOOR LOT COVERAGE = 5.67%
- 4th FLOOR BRIDGE AREA = 11,251 SF.
- 5th FLOOR BRIDGE AREA = 12,305 SF.

DETACH REQUIREMENTS

	REQUIRED	PROPOSED
• FRONT (EAST)	0' - 12'	0'
• SIDE (SOUTH)	0'	3.00'
• SIDE (NORTH)	0'	3.00'
• REAR (WEST)	0'	41.40'

There are PROPOSED ENCROACHMENTS OF COLUMNS AND FOUNDATIONS INTO THE GRAND AV. ROW

PAVING CALCULATIONS

• NO OF PAVED PARKING REQUIRED OR PROPOSED

BICYCLE PARKING

REQUIRED

• TO BE DETERMINED

PROPOSED

• BICYCLE PARKING PROVIDED = 54 SPACES WITHIN TOWER BUILDING

LOADING CALCULATIONS

REQUIRED

• LOADING REQUIRED = NONE REQUIRED

PROPOSED

• PROVIDED OPEN SPACE = 8.7%

OPEN SPACE

REQUIRED

• MINIMUM OPEN SPACE REQUIRED = 6.0%

PROPOSED

• PROVIDED OPEN SPACE = 8.7%

SITE SUE INFORMATION:

THE SITE IS A 1.49 ACRES NATURAL RESOURCES CONSERVATION SERVICE WET SUE SURVEY FOR INDIAN COUNTRY. THE SITE CONSISTS OF THE FOLLOWING:

URBAN LAND/MARLETTTE COMPLEX, 72 TO 12 PERCENT SLOPES

URBAN LAND/LUUVENTS COMPLEX

GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB. FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING PROPERTY (LINE CENTER OF MANHOLE/CATCH BASIN) OR CENTERLINE OF SIDEWALK OTHERWISE NOTED.
2. REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
3. REFER TO NOTES & DETAILS SHEET FOR OFF-SITE SIDEWALK MARK DETAILS.

SIDEWALK RAMP LEGEND:	
SIDEWALK RAMP TYPE F	
SIDEWALK RAMP TYPE R	
REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS	

0 10 20 40
SCALE: 1" = 20'

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

CLIENT
**NEW VISION
LANSING, LLC**
201 N. WASHINGTON SQUARE,
SUITE 800
LANSING, MI 48226

PROJECT TITLE
**NEW VISION
LANSING-TOWER
ON GRAND
PARKING
GARAGE &
GRAND AVE.
OVERPASS**

[illegible]

ORIGINAL ISSUE DATE:
APRIL 30, 2026

DRAWING TITLE
SITE PLAN

PEA JOB NO.	24-127
P.M.	E
DN.	SE
DES.	E
DRAWING NUMBER:	

C-3.1

EXHIBIT "B"
EASEMENT DESCRIPTION
BUILDING FOUNDATION EASEMENT

BUILDING FOUNDATION EASEMENT

A Building Foundation Easement, being located over that part of S. Grand Avenue, adjacent to the East line of Block 114, Original Plat of the Town of Michigan (Now City of Lansing), according to the plat there of, as recorded in Liber 2 of Plats, Page 36, described as COMMENCING at the Southeast corner of Lot 6, said Block 114; thence North 00 degrees 32 minutes 52 seconds East, 1.33 feet along the East line of said Block 114 to the POINT-OF-BEGINNING; thence continuing North 00 degrees 32 minutes 54 seconds East, 259.31 feet along said East line; thence South 89 degrees 27 minutes 06 seconds East, 4.80 feet, perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 15.30 feet; parallel with said East line; thence North 89 degrees 27 minutes 06 seconds West, 3.46 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 23.21 feet parallel with said East line; thence South 89 degrees 27 minutes 06 seconds East, 3.96 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 7.00 feet parallel with said East line; thence North 89 degrees 27 minutes 06 seconds West, 3.96 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 29.73 feet parallel with said East line; thence South 89 degrees 27 minutes 06 seconds East, 3.83 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 10.83 feet parallel with said East line; thence North 89 degrees 27 minutes 06 seconds West, 3.83 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 33.22 feet parallel with said East line; thence South 89 degrees 27 minutes 06 seconds East, 3.96 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 7.43 feet parallel with said East line; thence North 89 degrees 27 minutes 06 seconds West, 3.96 feet perpendicular to said East line; thence South 00 degrees 32 minutes 54 seconds West, 132.58 feet parallel with said East line; thence North 89 degrees 27 minutes 06 seconds West, 1.33 feet perpendicular to said East line to the POINT-OF-BEGINNING. Containing 499 square feet, more or less.

PEA

GROUP

t: 844.813.2949

www.peagroup.com

NEW VISION

LANSING, LLC

201 N. WASHINGTON

SQUARE, SUITE 900

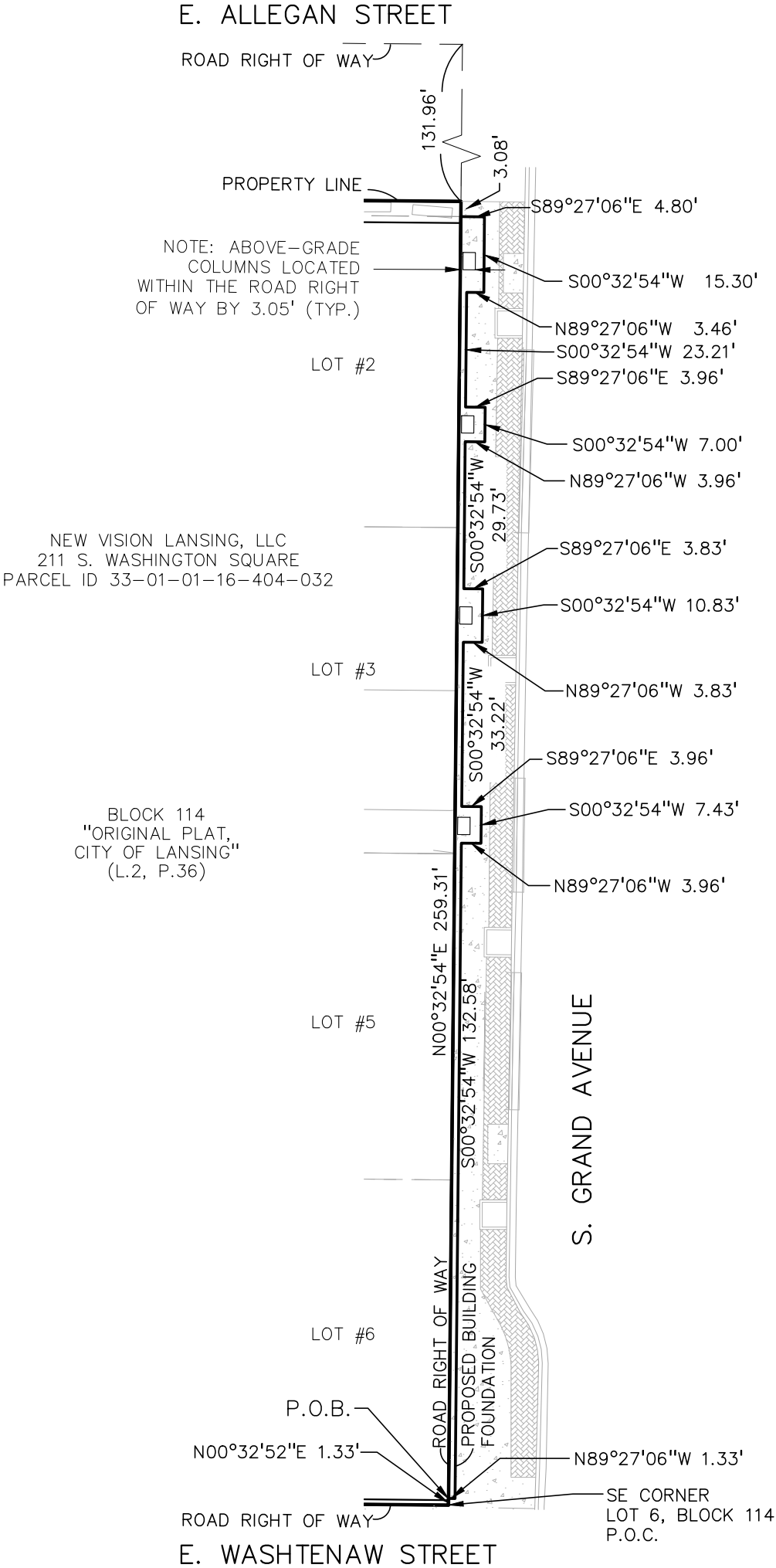
LANSING, MICHIGAN

SHEET 1 OF 2

MAY 19, 2026

24-1279

EXHIBIT "B"
EASEMENT SKETCH
BUILDING FOUNDATION EASEMENT



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**NEW VISION
LANSING, LLC**
201 N. WASHINGTON
SQUARE, SUITE 900
LANSING, MICHIGAN

SHEET 2 OF 2
MAY 19, 2026
24-1279


NORTH

0 15 30

SCALE: 1" = 30'

EXHIBIT "A"
EASEMENT DESCRIPTION
GRAND AVENUE AERIAL BUILDING EASEMENT

GRAND AVENUE AERIAL BUILDING EASEMENT

An Aerial Building Easement, being located over that part of Grand Avenue lying between Block 113 & Block 114, Original Plat, City of Lansing, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 2 of Plats, Page 36, Ingham County Rounds. This easement is vertically located between its lower limit of at an elevation of 865.00 feet and its upper limit at an elevation of 1150.00 feet, noted elevations are referenced to the North American Vertical Datum of 1988 (NAVD88); Said easement is further described as: BEGINNING at the Southwest corner of Lot 2, of said Block 113; thence South 00 degrees 32 minutes 54 seconds West, along the Westerly line of said block 133 and the Easterly line of Grand Avenue, 133.60 feet; thence North 89 degrees 27 minutes 06 seconds West, 82.50 feet to the Easterly line of said Block 114 and the Westerly line of Grand Avenue; thence North 00 degrees 32 minutes 54 seconds East, along said Easterly line of said Block 114 and Westerly line of Grand Avenue, 133.60 feet; thence South 89 degrees 27 minutes 06 seconds East, 82.50 feet to the POINT-OF-BEGINNING.



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**NEW VISION
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SQUARE, SUITE 900
LANSING, MICHIGAN

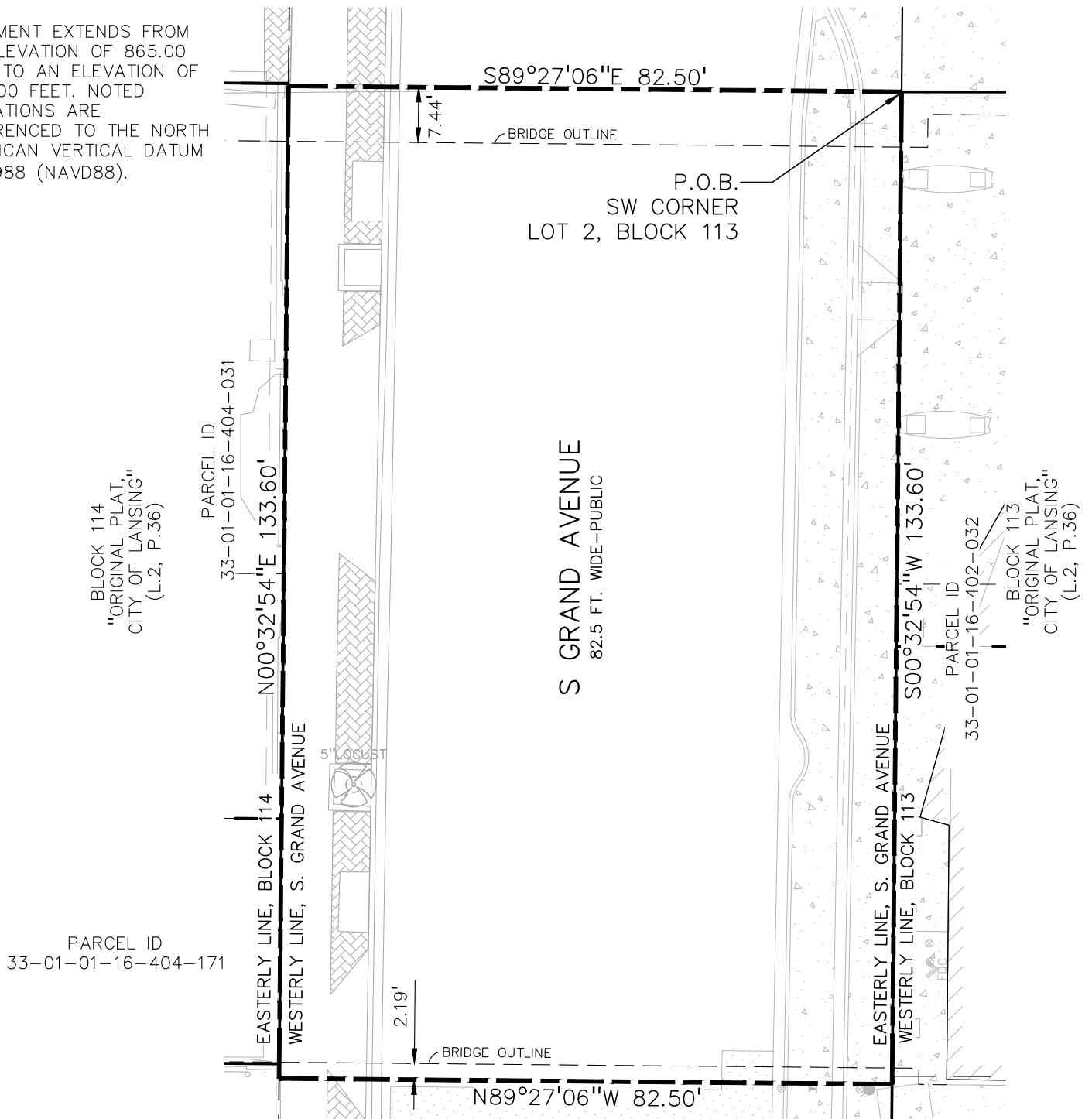
SHEET 1 OF 2
MAY 7, 2025
2024-1279

EXHIBIT "A"

EASEMENT SKETCH

GRAND AVENUE AERIAL BUILDING EASEMENT

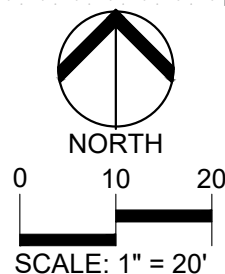
NOTE:
EASEMENT EXTENDS FROM
AN ELEVATION OF 865.00
FEET TO AN ELEVATION OF
1150.00 FEET. NOTED
ELEVATIONS ARE
REFERENCED TO THE NORTH
AMERICAN VERTICAL DATUM
OF 1988 (NAVD88).



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NEW VISION
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201 N. WASHINGTON
SQUARE, SUITE 900
LANSING, MICHIGAN

SHEET 2 OF 2
MAY 7, 2025
2024-1279



Resolution #2026-###

By the Committee _____

Resolved by the City Council of the City of Lansing

WHEREAS, the Mayor has made the reappointment of Jerrod LaRue as the 2nd Ward member of the Board of Fire Commissioners for a term to expire June 30, 2030; and

WHEREAS, the nominee has been vetted by the Mayor's Office and meets the qualifications as required by the City Charter; and

WHEREAS, the Committee _____ took affirmative action.

NOW, THEREFORE, BE IT RESOLVED that the Lansing City Council, hereby, confirms the reappointment of Jerrod LaRue as the 2nd Ward member of the Board of Fire Commissioners for a term to expire June 30, 2030.